

## **DEPARTMENT OF PLANNING AND DEVELOPMENT**

### **STAFF REPORT**

TO: Planning Commission – January 13, 2026

FROM: Jean Friedman, AICP, Consulting Planner

APPL: Joseph G. Thompson Architect PLLC  
108 North Division Street, Ste 100  
Peekskill, New York 10566

P26-001

Owner: Riverview Associates of Peekskill, Inc.  
111 Brook Street, # 1  
Scarsdale, New York 10583

RE: **Public Hearing** by the **Planning Commission** regarding an **Amended Site Plan Review** pursuant to the original Site Plan Approval and Sections 575-27 A (1), 575-25 A (2), 575-56 B (2) and (4), and 575-56 C of the City of Peekskill Zoning Ordinance, to revise the previously approved façade colors, and to convert two general storage rooms on the second and third floors of a 51-unit condominium complex into two 895 sq. ft. one-bedroom apartments, increasing the total number of units to 53. The property is located in the R-6, Central Multiple Residence District.

Location: **505 South Street**

Section-Block-Lot: 32.12-5-1 (Peekskill Tax Map)

Zoning District: R-6, Central Multiple Residence

### **PUBLIC REVIEW SUMMARY**

Governing Body	Date	Action/Discussion
Planning Commission	January 13, 2026	Amended Site Plan consideration

### **UPDATE**

On July 14, 2020 this new 51 unit (46 two-bedroom and 5 one-bedroom) residential development received site plan approval. The building and site work have been substantially constructed, but has not received a Certificate of Occupancy.

On August 15, 2022 it received a minor modification:

- to construct an 8' to 9' high retaining wall in front of the building
- to add landscaping to mitigate views of the wall
- and other minor improvements.

On November 18, 2025 a second minor modification was issued:

- to convert a ground floor storage space into a new clubhouse space, including new windows and a door facing South Street

- to add a new dog walk between the parking area and Smith Street along the north property line (walkway).
- to remove the entrance gate at Smith Street.
- to erect a 6' high solid white vinyl fence around the east and north sides of the property, with lighting details for the site.

The applicant is now requesting an amended site plan approval to convert two general storage rooms on the second and third floors into two 895 sq. ft. one-bedroom apartments. An amendment is also needed to revise the approved façade colors; the colors of the installed siding have not been approved.

The applicant has been asked to revise the attached narrative dated September 29, 2025 so that it accurately reflects the information above.

### **BACKGROUND & SITE PLAN REVIEW**

The plans and images for the retaining wall, landscaping, clubhouse, dog walk, entrance gate, fence and lighting are included for the Planning Commission's information only. These changes have already received minor modification approval, and some have been substantially constructed.

The proposed amendment includes conversion of two approved general storage areas into two new 895 sq. ft. one-bedroom apartments at the rear of the building on the second and third floors (see sheet A3.04, units #214 and #314). This will increase the total unit count from 51 units to 53 units. When asked about storage space within the existing units, the applicant responded that typical units have 50 sq. ft. to 100+ sq. ft. of closet area, with most units equipped with coat closets, linen closets and multiple bedroom closets including 30-42 sq. ft. walk-in closets. The applicant has been asked to provide the square footage of general storage area to be removed, and the square footage and location of a possible new general storage area in the basement.

Two new units require four (4) parking spaces by Code. The plan for 51 units was approved with 116 parking spaces (indoor and outdoor) where 115 spaces were required. The approved spaces include 18 land-banked spaces (one more than is required by code) that could be constructed on-site in the future if needed. Since one additional space was originally approved, two new units require 3 new spaces. These are proposed as land-banked spaces in a grassy area near the east property line (see sheet SP-4). If the new units are approved, 98 actual spaces will be provided for 53 units (46 two-bedroom and 7 one-bedroom), and 21 spaces will be land-banked.

The applicant has been asked to provide the façade colors that were approved in 2020 and those that are currently on the structure. The applicant will address this change at the meeting.

**Approved colors:**



**Proposed and existing colors:**



**STAFF RECOMMENDATION**

This is a Type II action under SEQRA and no further SEQR review or determination is necessary.

Staff recommends that the Planning Commission grant approval of the amended site plan pursuant to the original Site Plan Approval, and Sections 575-27 A (1), 575-25 A (2), 575-56 B (2) and (4), and 575-56 C of the City of Peekskill Zoning Ordinance, to change the previously approved façade colors, and to convert two general storage rooms on the second and third floors of a 51-unit condominium complex into two 895 sq. ft. one-bedroom apartments, increasing the total number of units to 53. Approval of this amendment expires on **July 13, 2026**, subject to the following conditions:

*Conditions to be met before signing of the site plan:*

1. Submission of six (6) sets of the approved site plan, for signature by the Planning Commission Chairman, with final condition notes added or changes to the plans as needed.

2. A note shall be added to the final site plan that “Final construction plans shall provide adequate and appropriate interior soundproofing for individual units to address railroad noise.”
3. All trash placed at the curb shall be in approved containers satisfactory to the City of Peekskill.
4. Resolution of all remaining engineering matters to the satisfaction of the City.
5. Provision of performance requirements (cash or irrevocable letter of credit) as deemed necessary and in an amount determined by the Director of Planning. Any performance instrument must be acceptable to the City Corporation Counsel as to form, manner of execution and surety.
6. Payment of all outstanding application fees and escrow balances.
7. Continuation of escrow fees during the duration of the project to cover consulting costs for engineering and planning. Such fees shall be held in escrow, and any amounts not used shall be returned to the Applicant.
8. Any changes between the plan reviewed at the hearing and the final submitted site plan, other than those described in the conditions of approval, may be approved by the City Engineer for engineering matters and the Director of Planning as minor modifications provided that such changes meet the criteria outlined in Section 575-56 C of the zoning ordinance. Otherwise, the applicant must return to the Planning Commission to obtain approval of the amendment(s).

*To be completed prior to issuance of a Building Permit:*

1. Payment of a Parkland and Recreation Fee of \$5,665 for each new dwelling unit to the City of Peekskill.  $\$5,665 \times 2 = \$11,330$ .

*Conditions to be met before issuance of a Final Certificate of Occupancy:*

1. Completion of the work as shown in the approved plans.
2. Payment of all water / sewer tapping / connection fees, if applicable.
3. Final landscaping type, size (caliper and height) and location shall be satisfactory to the Director of Planning and shall be maintained in a vigorous, healthy condition.

*Conditions to be met at all times:*

1. Compliance with plans and conditions from the July 14, 2020 site plan approval and from the August 15, 2022 and November 18, 2025 minor modification approvals, except as revised by this amended site plan approval.
2. Vehicles are prohibited from parking on or blocking the City sidewalk.
3. Adherence to City of Peekskill Noise Code requirements.
4. Construction will be limited to Monday to Friday, except holidays from 8:00 AM to 8:00 PM, and Saturdays from 9:00 AM to 5:00 PM. No activities will be permitted on Sundays or City holidays.

**DRAWING(S) REVIEWED IN PREPARATION OF STAFF REPORT**

1. Narrative dated September 29, 2025 from Joseph Thompson Architect

2. Drawing SP-4 Parking and Signage Plan, with revised parking calculations and proposed land-banked parking spaces.
3. Sheet A3.04 showing proposed Units #214 and #314.
4. Color rendering of approved façade colors
5. Current photograph showing proposed colors.
6. Drawing CSP-3.1, Site Development Plan revised June 19, 2020 by Cronin Engineering.

# JTA JOSEPH THOMPSON ARCHITECT

108 N DIVISION STREET, SUITE 100, PEEKSKILL, NEW YORK 10566

To: **City of Peekskill Planning Commission**  
City Hall  
840 Main Street  
Peekskill, New York 10566

Attn: **Chair Stern & Planning Commission Members**

Date: September 29, 2025

RE: **EAST POINT ON HUDSON- PROJECT NARRATIVE**  
505 South Street, Peekskill, New York 10566  
S-B-L: 32.12-5-1

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Our office is pleased to represent Riverview Associates of Peekskill, Inc. to propose modifications to the project currently under construction at the property at 505 South Street. This new luxury residential apartment development that is planned to be completed this Winter offers graciously sized apartment units, ample amenities and spectacular views of the Hudson River.



**Figure 1. Photograph of current construction of East Façade taken on September 17, 2025.**

Summary of modifications proposed:

- Increase unit count from 51 units (46 Two-Bedroom/ 5 One-Bedroom) to 53 units (46 Two-Bedroom/ 7 One-Bedroom):
  - Two 895 SF storage rooms, one on the second and one on the third floor, are proposed to be built-out as one-bedroom apartment units.
  - Provide increase in land banked parking from 18 Land Banked Spaces to 21 Land Banked Spaces.
- New Clubhouse amenity space. An area originally planned for storage units is proposed to be converted into a new Clubhouse amenity space.
- New Dog Walk. Provide Dog Walk area in the section of property connecting the outdoor Parking area to Spring Street.
- Siding Color: Change of color to light gray (See Figure 1 above)
- Entrance Gates: Remove prior proposed entrance gates.

Additional Documents provided as per request of the Planning Department:

- Photometric Plans required as a condition of approval:
  - General Parking Lot Lighting that includes a combination of pole type fixtures and building mounted fixtures.
  - New bollard lighting along walking paths.
- As-Built Survey of Retaining Walls (See attached and Figure 2 below)



**Figure 2. Photograph of current site construction & retaining walls taken September 17, 2025.**



**Figure 3. Photograph of existing basement space proposed to convert to new Clubhouse taken on September 17, 2025.**



**Figure 4. Photograph of the view from patio area immediately outside proposed new clubhouse taken on September 17, 2025.**



**Figure 5. Photograph of West Façade, Outdoor Courtyard and Pool Construction taken on September 17, 2025**



**Figure 6. Photograph of Outdoor Courtyard and Pool Area Construction taken on September 17, 2025**

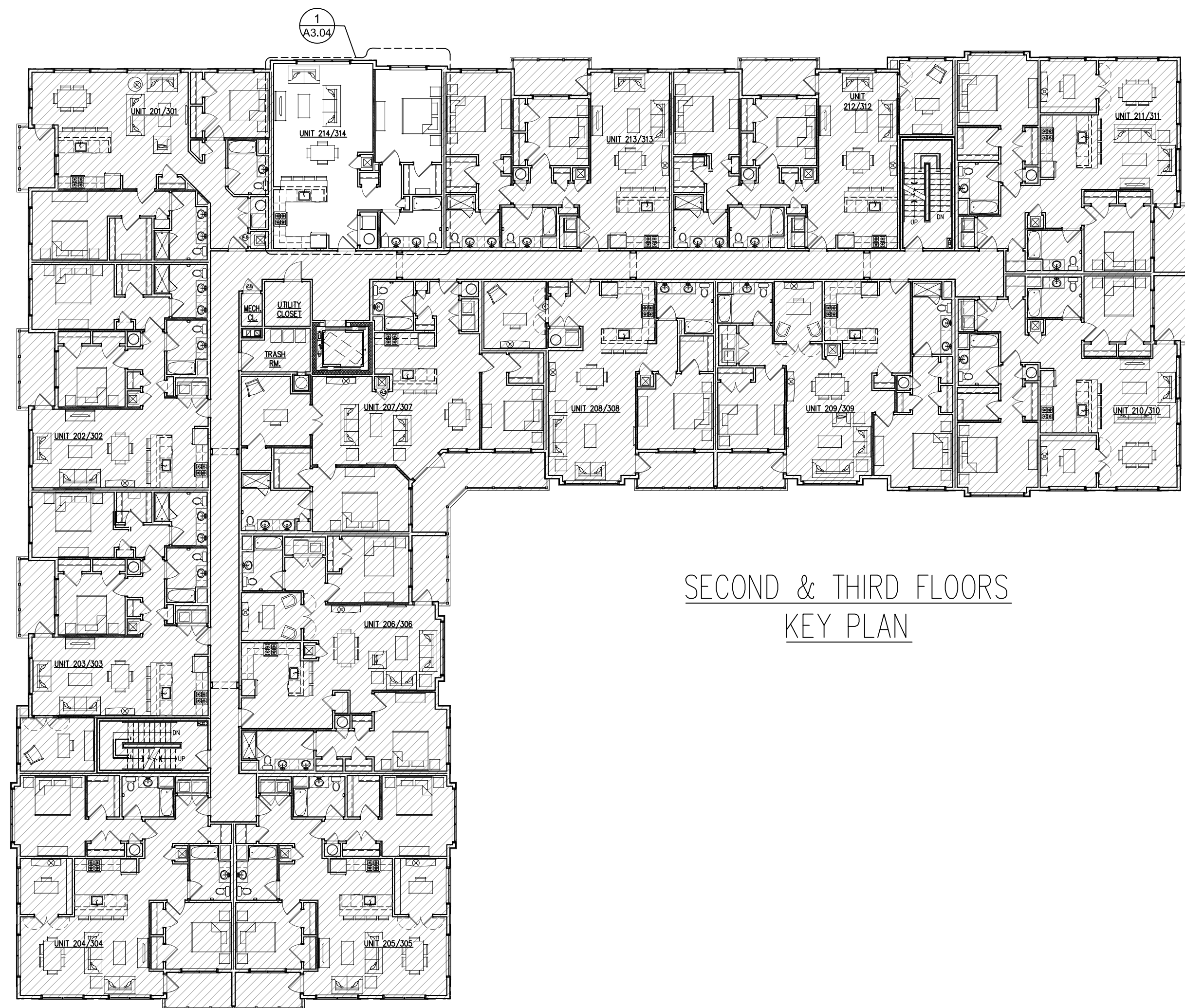
The changes outlined above are proposed in the interest of improving building amenities and to provide additional housing opportunity within the building as constructed. We look forward to further reviewing this application with the Board. Please contact me should you have any questions or should any further information be required.

Respectfully Submitted,

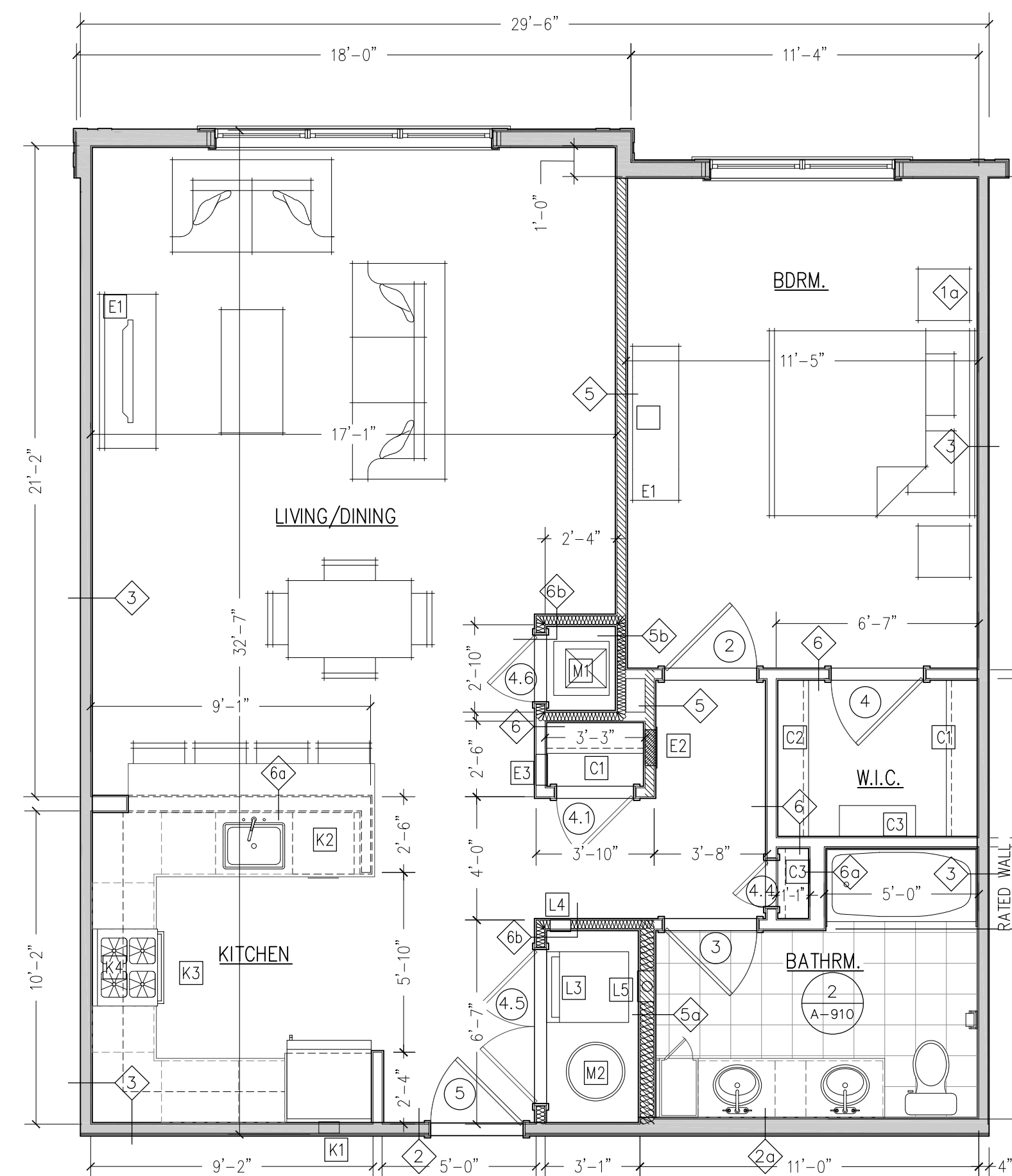
Joseph G. Thompson, RA, M. Arch, NCARB, LEED AP, CSBA, CDT  
NYS Registered Architect

Attachments:

1. Proposed New Apartment Unit #214/#314 Plan dated December 13, 2024 (1 Sheet)
2. Proposed New Clubhouse Drawings dated September 15, 2025 (3 Sheets)
3. Proposed New Land Banked Parking Site Diagram dated July 15, 2025 (1 Sheet)
4. Fence Site Diagram dated September 9, 2025 (1 Sheet).
5. Exterior Lighting & Photometric Plans prepared dated August 28, 2025 (4 Sheets)
6. Retaining Wall As-Built Survey dated March 18, 2024 (1 Sheet)

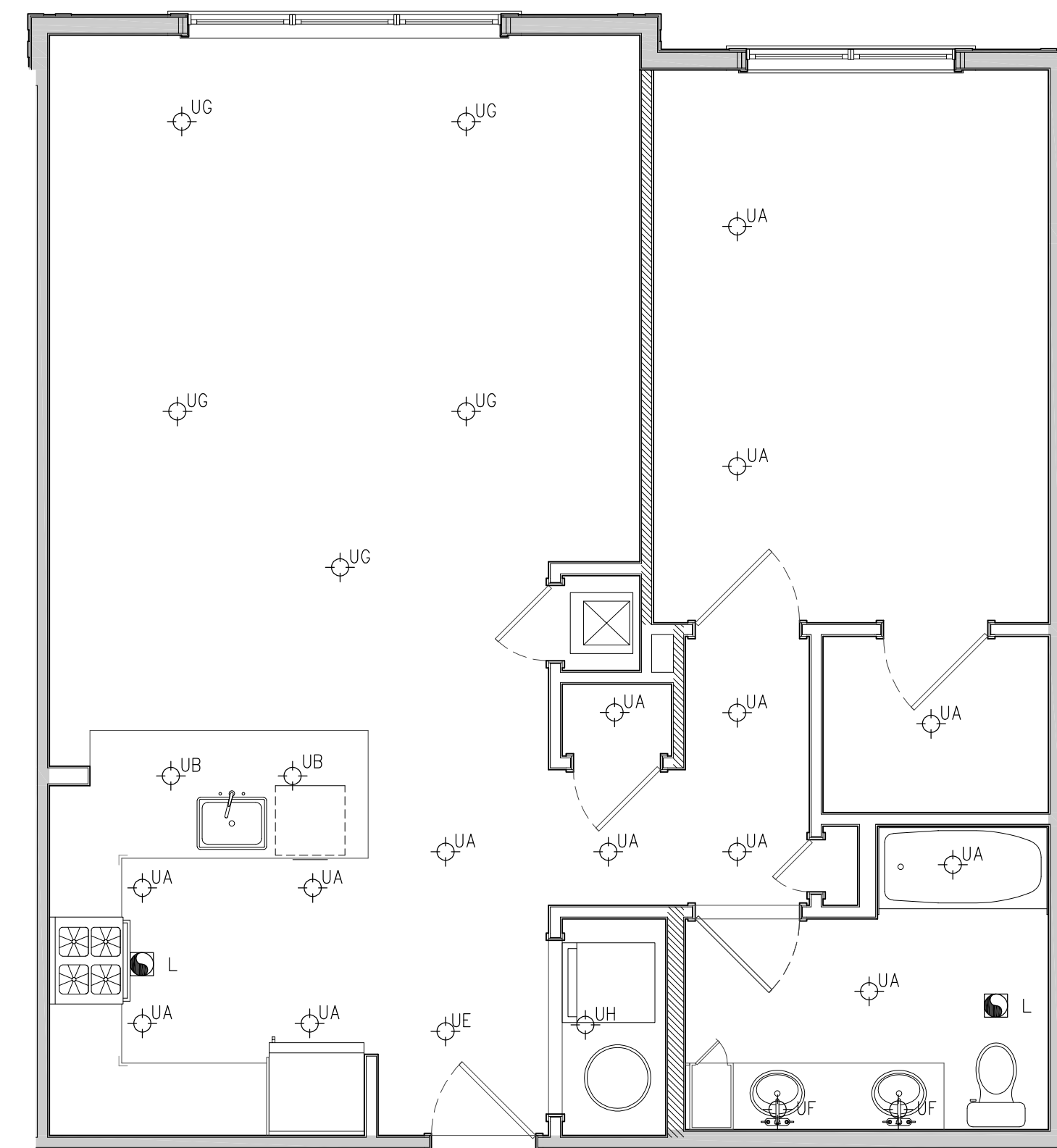


SECOND & THIRD FLOORS  
KEY PLAN



1 UNIT 214/314 FLOOR PLAN (895 SF)  
SCALE: 1/4"=1'-0"

LIGHT & VENTILATION @ 214/314 UNIT  
LVG/ DNG/ KITN = 494 S.F.  
8% LIGHT REQ'D = 39.5 SF PROV'D = 36.1 SF\*  
\*(ARTIFICIAL LIGHTING PROVIDED)  
4% VENT. REQ'D = 19.8 SF PROV'D = 20.1 SF  
  
MASTER BDRM = 181 S.F.  
8% LIGHT REQ'D = 15 SF PROV'D = 25 SF  
4% VENT. REQ'D = 7.5 SF PROV'D = 15 SF



2 UNIT 214/314 RCP  
SCALE: 1/4"=1'-0"

NOTE:  
- REFERENCES TO DOOR & WINDOW  
SCHEDULE, WALL TYPE DETAILS, BATHROOM  
AND KITCHEN INTERIOR ELEVATIONS SHALL BE  
PER CONSTRUCTION DOCUMENT PREPARED BY  
ARCHITECT OF RECORD (THE SULLIVAN  
ARCHITECTURAL GROUP) DATED JULY 21, 2022.

- UNIT KEYNOTES**
- ELECTRICAL**
- E1 TELE. / DATA BOX 48" A.F.F.
  - E2 ELECTRIC PANEL - SEE ELEC. DWGS
  - E3 CABLE / DATA - SEE ELEC. DWGS
- MECHANICAL**
- M1 AIR HANDLING UNIT - SEE MECH. DWGS
  - M2 HOT WATER HEATER / BOILER - SEE MECH. DWGS
  - M3 BATHROOM EXHAUST VENT
- KITCHEN**
- K1 \*\* REFRIGERATOR WATER LINE (RATED BOX AT RATED WALLS)
  - K2 DISHWASHER
  - K3 ELEC. RANGE / OVEN (MUST BE FLUSH W/ COUNTER-TOP TO PROVIDE RECD REACH RANGE CLEARANCE FOR KITCHEN OUTLETS)
  - K4 MICROWAVE / HOOD
- LAUNDRY**
- L1 WASHER
  - L2 DRYER (PROVIDE 100 SQ. IN. OF OPEN AIR EITHER BY LOUVERED DOOR OR TRANSFER GRILL)
  - L3 STACKED WASHER-DRYER
  - L4 \*\* WASHER CONNECTION BOX (MEETS ACCESSABILITY REQUIREMENTS)
  - L5 \*\* DRYER EXHAUST (MUST BE IN SHEET MTL. @ RATED WALLS)
- \*\* INDICATES SHALL BE RATED WHEN IN RATED ASSEMBLY.
- CLOSET SHELVE (SEE A-515)**
- C1 SINGLE ROD-12" WIDE SHELF @ 70"
  - C2 DBL. ROD-12" WIDE SHELVES @ 42" & 84"
  - C3 LINEN OR PANTRY-(5) 16" WIDE SHELVES SPACED @ 14" W/ HIGHEST SHELF @ 70"
  - C4 LAUNDRY CLOSET-(2) 16" WIDE SHELVES @ 56" & 70"

- WALL ASSEMBLIES**
- 10 EXT. 2x6 WALL W/ CEMENTITIOUS SIDING
  - 15 EXT. 2x6 WALL W/ STONE VENEER
  - 16 EXT. CONC. WALL W/ 3-5/8" STL. STD. & RIGD INSUL.
  - 17 EXT. CONC. WALL W/ STONE VENEER
  - 2 2X4 CORRIDOR WALL - 1 HR
  - 2a 2X6 CORRIDOR WALL - 1 HR
  - 3 2x4 UNIT SEPARATION - 1 HR
  - 3a 2x6 UNIT SEPARATION - 1 HR
  - 4 2X4 UNIT TO ELEVATOR WALL W/ 8" BLK. - 2 HR
  - 5 INTERIOR 2X4 BEARING WALL - 1 HR
  - 5a INTERIOR 2X6 BEARING - 1 HR
  - 5b INTERIOR 2X4 BEARING W/ SOUND INSUL. - 1 HR
  - 5c INTERIOR 2X6 BEARING W/ SOUND INSUL. - 1 HR
  - 6 INTERIOR 2X4 NON-BEARING WALL
  - 6a INTERIOR 2X6 NON-BEARING
  - 6b INTERIOR 2X4 NON-BEARING W/ SOUND INSUL.
  - 6c INTERIOR 2X6 NON-BEARING W/ SOUND INSUL.
  - 7 SHAFT WALL - 2 HR
  - 8 STAIRWELL WALL - 2 HR
  - 8a STAIRWELL WALL ADJACENT TO UNIT - 2 HR

- UNIT NOTES**
- ALL FLOOR PLAN DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
  - DOOR LOCATIONS NOT DIMENSIONED ARE 4" FROM CORNER OR TO MIDPOINT OF WALL SEGMENT, TYPICAL.
  - SEE FINISH SCHEDULE FOR COMPLETE INFORMATION AS TO FLOOR & WALL FINISHES.
  - ALL INTERIOR WALL STUDS ARE 3-5/8" STL. STUDS, UNLESS NOTED OTHERWISE.
  - EXT. WALL FINISH TO VARY DEPENDING ON LOCATION. SEE OVERALL BLDG. PLANS & ELEVATIONS.
  - ALL MEP ROUGHS IN RATED WALL ASSEMBLIES SHALL BE RATED FOR THE ASSEMBLY OR PROTECTED W/ A PUTTY PAD OR EQUAL.
  - EXT. WALL FINISH TO VARY DEPENDING ON LOCATION. SEE OVERALL BLDG. PLANS & ELEVATIONS.
  - SEE SHEET A-600 FOR WALL ASSEMBLY INFO.
  - SEE SHEET A-900 FOR KITCHEN ELEVATIONS.
  - SEE SHEET A-910 FOR BATHROOM ELEVATIONS.

- LOAD BEARING WALLS  
SOUND BATT
- INDICATES REMOVABLE PORTION OF VANITY. CONTRACTOR TO EXTEND FLOOR FINISH UNDER REMOVABLE CABINET. ALL SIDE AND REAR SURFACES TO BE FINISHED.

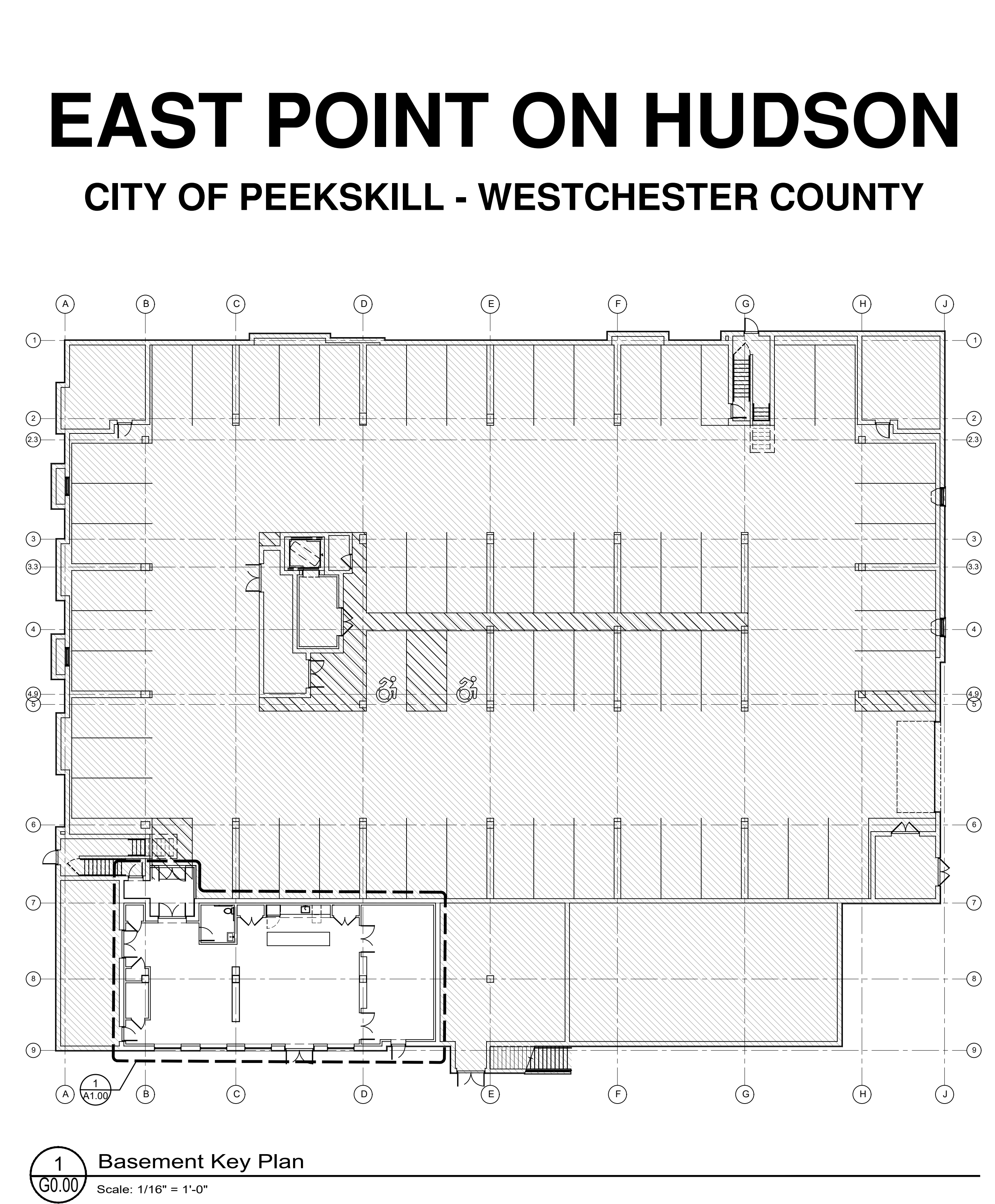
- LIGHTING FIXTURE**
- UA SURFACE MOUNTED LED DOWNLIGHT
  - UB PENDANT LIGHT
  - UC EXTERIOR DECK LIGHT
  - UD INTERIOR SCENCE
  - UE ENTRY FIXTURE
  - UF VANITY LIGHT
  - UG DINING ROOM FIXTURE
  - UH UTILITY LIGHT
  - L EXHAUST FAN (W/ 1HR. RATING)

HABITABLE SPACE NATURAL LIGHT & VENTILATION			
CLUB ROOM (?? SF+/-)			
LIGHT:	8% REQ'D (12.16)	ARTIFICIAL LIGHTING PROVIDED	
VENT:	4% REQ'D (6.08)	MECHANICAL VENTILATION	
PROVIDED			
TV ROOM (?? SF+/-)			
LIGHT:	8% REQ'D (22.40)	16.14% PROVIDED (45.20)	
VENT:	4% REQ'D (11.20)	15.07% PROVIDED (42.20)	

BUILDING CONSTRUCTION COMPLIANCE - CERTIFICATION	
<p>- Title 19 (NYCRR)</p> <p>- Chapter XXXIII - State Fire Prevention and Building Code Counsel</p> <p>- Subchapter A - Uniform Fire Prevention and Building Code</p>	
<p>I do hereby certify that these drawings and specifications have been prepared under my supervision, and that to the best of my knowledge and professional judgment, the design has been made in conformance with all applicable requirements of Title 19 (NYCRR) - Chapter XXXIII, Subchapter A and the following referenced codes of New York State:</p> <p>New York State Building Code- 2020 Edition</p> <p>New York State Energy Conservation Construction Code- 2020 Edition</p>	
Signed	Joseph G. Thompson, NYS Registered Architect (License # 036057)

ENERGY CONSERVATION COMPLIANCE - CERTIFICATION	
<p>- Title 19 (NYCRR)</p> <p>- Chapter XXXIII - State Fire Prevention and Building Code Counsel</p> <p>- Subchapter B - State Energy Construction Conservation Code</p> <p>- Part 1240 - Energy Conservation Construction Code</p>	
<p>The proposed envelope system represented in these drawings and specifications has been designed to meet the requirements of Chapter 4 of the New York State Energy Conservation Construction Code - 2020 Edition</p> <p>I do hereby certify that these drawings and specifications have been prepared under my supervision, and that to the best of my knowledge and professional judgement, the design has been made in conformance with all applicable requirements of Title 19 (NYCRR) - Chapter XXXIII, Subchapter B - Part 1240</p> <p>General Contractor shall be required air seal the building envelope as required meet minimum air leakage test requirements in accordance with ECCCNYs 2020 Section C406.9 (Reduced Air Infiltration). Test results shall be submitted to Building Inspector and Architect for review.</p> <p>General Contractor shall be required to insulate ductwork and test for air leakage in accordance with ECCNYs 2020 Section C403.11. Certification of the testing results shall be submitted to the Building Inspector for review and approval prior to issuance of a Certificate of Occupancy.</p> <p>A COMcheck energy compliance analysis signed and sealed by a NYS Licensed Mechanical Engineer shall be submitted in addition to meeting the prescriptive method insulation requirements as noted on this sheet in accordance with ECCNYs 2020 Table C402.1.3 and shall be submitted to the Building Inspector for approval prior to start of construction.</p>	
Signed	Joseph G. Thompson, NYS Registered Architect (License # 036057)

CITY OF PEEKSKILL, NEW YORK						
Ground Snow Load	Wind Design				Seismic Category	
	Wind Speed	Topo Effects	Special Wind Region	Wind-borne Debris Zone		
30	*120	No	Yes	No	C	
Subject to Damage From						
Weathering	Frost Depth	Termite	Ice Shield Underlayment	Flood Hazards	Air Freezing Index	Mean Annual Temp
Severe	42"	Moderate to Heavy	Yes	N/A	1,500 or Less	51.6
*115 MPH to 120 MPH, The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.						



ENERGY CODE COMPLIANCE PER ECCCNYs 2020 EDITION TABLE C402.1.3												
CRITERIA	CLIMATE ZONE	FENESTRATION U-FACTOR	ENTRANCE DOORS U-FACTOR	SKYLIGHT U-FACTOR	SHGC	CEILING R-VALUE	ROOF (ABOVE DECK)	WOOD FRAME WALL	MASS WALL R-VALUE	FLOOR R-VALUE	BELOW GRADE WALL	SLAB
MIN. REQ'D VALUE	4	0.38 FIXED 0.45 OPER	0.77	0.5	*0.36	38 CAVITY	30 CI (AVG)	20 CAVITY	11.4 CI	30 CAVITY	R-7.5 CI	10, 4 FT
PROVIDED VALUE	4	0.38 FIXED 0.45 OPER	0.77	N/A	0.36	38 CAVITY	N/A	21 CAVITY	N/A	N/A	N/A	N/A
*MOST RESTRICTIVE VALUE BASED ON CLIMATE ZONE AND A WINDOW PROJECTION FACTOR OF 0 HAS BEEN UTILIZED. NOTE: CLIMATE ZONE 4 ESTABLISHED FOR WESTCHESTER COUNTY. NOTE: BUILDING ENVELOPE SHALL BE TESTED IN ACCORDANCE WITH ASTM E779 AT A PRESSURE DIFFERENTIAL OF 0.3 INCH WATER GAUGE (75 Pa) AND SHALL NOT HAVE A LEAKAGE RATE GREATER THAN 0.4 CFM/SF												

PROJECT DESCRIPTION	
NEW COMMUNITY ROOM IN MULTI-FAMILY BUILDING.	
DRAWING INDEX	
<p>GENERAL:</p> <p>G0.00 TITLE SHEET / KEY PLAN</p> <p>G0.01 GENERAL NOTES</p> <p>LIFE SAFETY:</p> <p>LS1.00 NEW CLUB ROOM EGRESS PLAN</p> <p>STRUCTURAL: (BY MJ ENGINEERING &amp; DESIGN)</p> <p>SK-1 PROPOSED NEW WINDOW OPENING AT WEST ELEVATION</p> <p>FRAMING:</p> <p>FR1.00 NEW CLUB ROOM FRAMING PLAN &amp; WALL TYPES</p> <p>ARCHITECTURAL:</p> <p>A1.00 NEW CLUB ROOM ARCHITECTURAL PLAN</p> <p>A2.01 NEW WEST ELEVATION</p> <p>A3.01 BUILDING SECTION AT NEW CLUB ROOM</p> <p>A4.01 KITCHENETTE &amp; ADA RESTROOM ENLARGED PLAN &amp; INTERIOR ELEVATIONS</p> <p>A4.02 ADA RESTROOM GUIDELINES, PLAN AND ELEVATIONS</p> <p>A6.01 WINDOW SCHEDULE AND DETAILS</p> <p>A6.02 DOOR SCHEDULE AND DETAILS</p> <p>ELECTRICAL:</p> <p>E1.00 NEW CLUB ROOM ELECTRICAL CEILING PLAN</p>	

JTA

JOSEPH THOMPSON ARCHITECT

Joseph G. Thompson Architect, PLLC  
108 N Division Street, Suite 100  
Peekskill, New York 10566

PH: (845) 532-8156  
EM: joe@jthompsonarch.com

NOTES:

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ARCHITECT OR ENGINEER SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.

© JOSEPH G THOMPSON ARCHITECT, PLLC. ALL RIGHTS RESERVED.

REGISTERED ARCHITECT

JOSEPH G. THOMPSON

036057

STATE OF NEW YORK

SEAL

Joseph G. Thompson, RA  
New York State License #036057  
Expiration: August 31, 2027

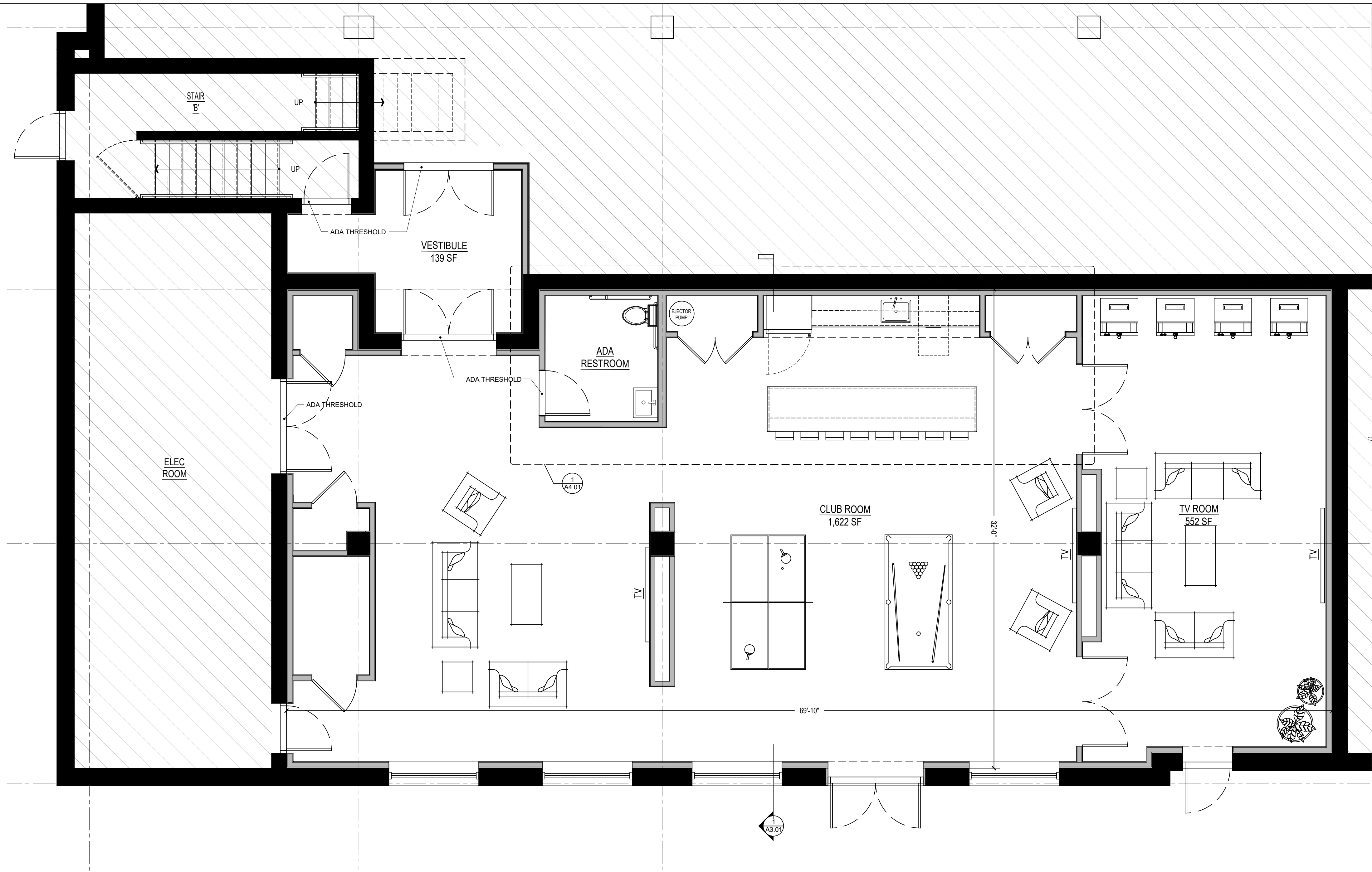
EASTPOINT ON HUDSON

Finkelstein Timberger/ East Real Estate (Owner)  
505 South Street  
Peekskill, New York 10566  
S-B-L-32.12-5-1  
City of Peekskill - Westchester County

FOR PERMIT AND CONSTRUCTION

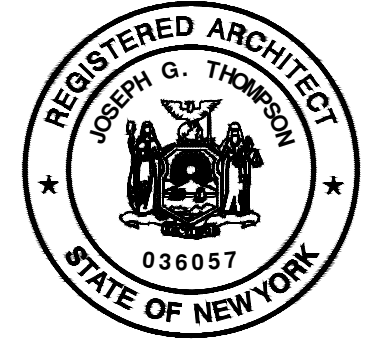
Date: September 15, 2025
Revisions:

G0.00



Legend	
	EXISTING WALLS
	NEW WALLS

**1** New Club Room Architectural Plan  
A1.00 Scale: 1/4" = 1'-0"



**EASTPOINT ON HUDSON**

Finkelstein Timberger East Real Estate (Owner)  
505 South Street  
Peekskill, New York 10566  
S-B-L-32-12-5-1  
City of Peekskill - Westchester County

**FOR PERMIT AND CONSTRUCTION**

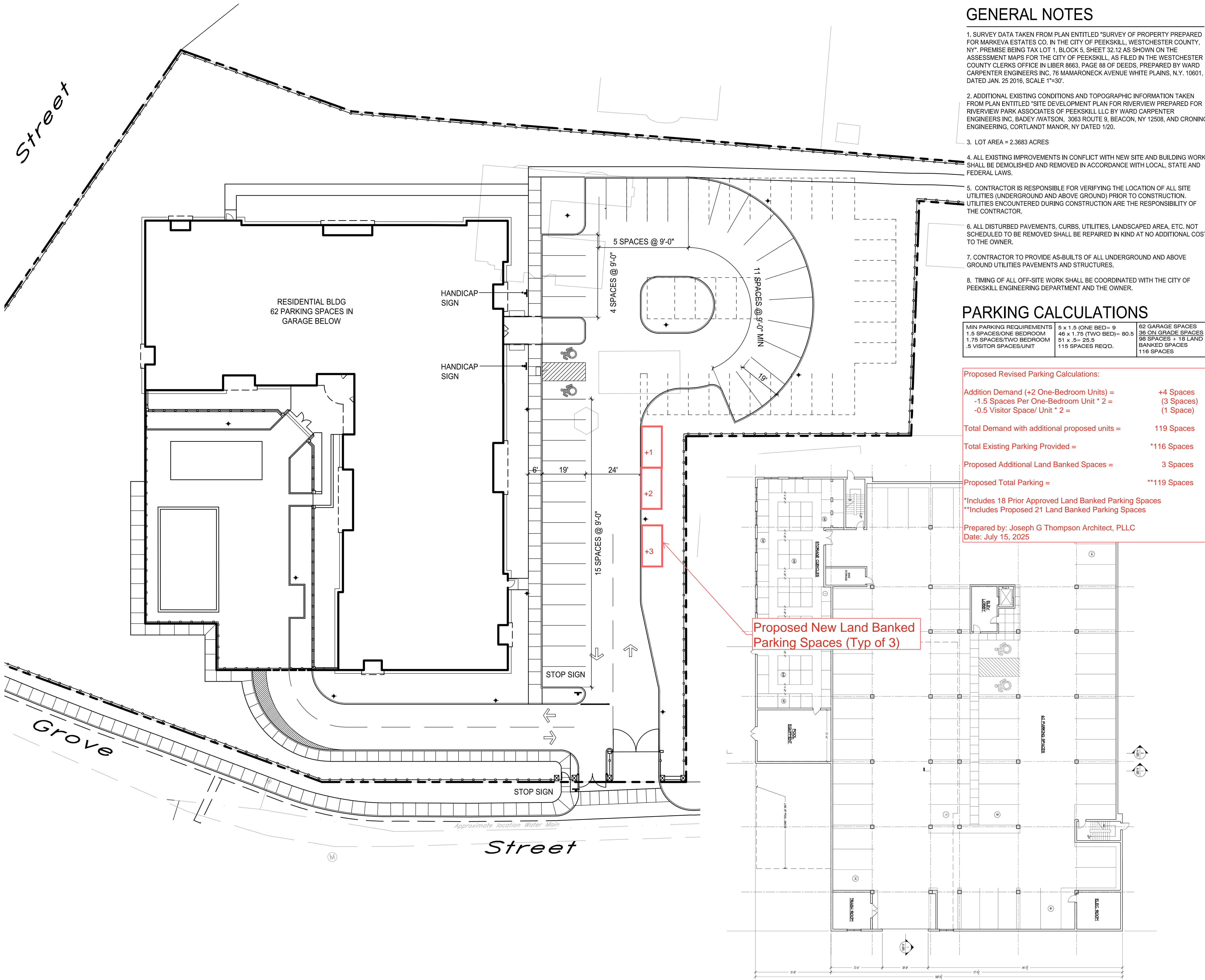
Date: September 15, 2025

Revisions:


**A1.00**



1 New West Elevation  
A2.01 Scale: 1/8" = 1'-0"



SITE PLAN

GARAGE PLAN

GENERAL NOTES

1. SURVEY DATA TAKEN FROM PLAN ENTITLED "SURVEY OF PROPERTY PREPARED FOR MARKEVA ESTATES CO. IN THE CITY OF PEEKSKILL, WESTCHESTER COUNTY, NY". PREMISE BEING TAX LOT 1, BLOCK 5, SHEET 32.12 AS SHOWN ON THE ASSESSMENT MAPS FOR THE CITY OF PEEKSKILL, AS FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE IN LIBER 8663, PAGE 88 OF DEEDS, PREPARED BY WARD CARPENTER ENGINEERS INC, 76 MAMARONECK AVENUE WHITE PLAINS, N.Y. 10601, DATED JAN. 25 2016, SCALE 1"=30'.
2. ADDITIONAL EXISTING CONDITIONS AND TOPOGRAPHIC INFORMATION TAKEN FROM PLAN ENTITLED "SITE DEVELOPMENT PLAN FOR RIVERVIEW PREPARED FOR RIVERVIEW PARK ASSOCIATES OF PEEKSKILL LLC BY WARD CARPENTER ENGINEERS INC, BADEY WATSON, 3063 ROUTE 9, BEACON, NY 12508, AND CRONING ENGINEERING, CORTLANDT MANOR, NY DATED 1/20.
3. LOT AREA = 2.3683 ACRES
4. ALL EXISTING IMPROVEMENTS IN CONFLICT WITH NEW SITE AND BUILDING WORK SHALL BE DEMOLISHED AND REMOVED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS.
5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL SITE UTILITIES (UNDERGROUND AND ABOVE GROUND) PRIOR TO CONSTRUCTION. UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ALL DISTURBED PAVEMENTS, CURBS, UTILITIES, LANDSCAPED AREA, ETC. NOT SCHEDULED TO BE REMOVED SHALL BE REPAIRED IN KIND AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR TO PROVIDE AS-BUILTS OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PAVEMENTS AND STRUCTURES.
8. TIMING OF ALL OFF-SITE WORK SHALL BE COORDINATED WITH THE CITY OF PEEKSKILL ENGINEERING DEPARTMENT AND THE OWNER.

PARKING CALCULATIONS

MIN PARKING REQUIREMENTS	5 x 1.5 (ONE BED) = 9	62 GARAGE SPACES
1.5 SPACES/ONE BEDROOM	46 x 1.75 (TWO BED) = 80.5	36 ON GRADE SPACES
1.75 SPACES/TWO BEDROOM	51 x .5 = 25.5	98 SPACES + 18 LAND BANKED SPACES
.5 VISITOR SPACES/UNIT	115 SPACES REQ'D.	116 SPACES

Proposed Revised Parking Calculations:

Addition Demand (+2 One-Bedroom Units) =	+4 Spaces
-1.5 Spaces Per One-Bedroom Unit * 2 =	(3 Spaces)
-0.5 Visitor Space/ Unit * 2 =	(1 Space)
Total Demand with additional proposed units =	119 Spaces
Total Existing Parking Provided =	*116 Spaces
Proposed Additional Land Banked Spaces =	3 Spaces
Proposed Total Parking =	**119 Spaces

\*Includes 18 Prior Approved Land Banked Parking Spaces  
\*\*Includes Proposed 21 Land Banked Parking Spaces

Prepared by: Joseph G Thompson Architect, PLLC  
Date: July 15, 2025

SYMBOLS LEGEND

	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING ELECTRIC LINE
	EXISTING SAN LINE
	EXISTING OVERHEAD LINE
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING DRAINAGE STRUCTURE/MANHOLE
	EXISTING CATCH BASIN
	EXISTING HYDRANT/WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING MONUMENT / TEL BOX / SIGN
	PROPERTY LINE
	NEW CURB
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	TOP STEP/BOTTOM STEP
	TOP RAMP/BOTTOM RAMP



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PREPARED BY:

**Blades & Goven**  
LANDSCAPE ARCHITECTS  
POST OFFICE BOX 1581  
FAIRFIELD, CT 06425  
PHONE: 203-254-8530  
www.bladesandgoven.com

REVISIONS:

NO	DATE	REVISION	BY
1	2-10-20	ZBA SUBMITTAL	BG

PROJECT NAME:

**RIVER VIEW PLACE**

505 SOUTH STREET  
PEEKSKILL, NY

PREPARED FOR

**RIVER VIEW PLACE ASSOCIATES**

10 JULIA LANE  
COLD SPRING, NY

PROFESSIONAL SEAL

DATE: 1-24-20

SCALE: 1"=20'

DRAWN BY: RS

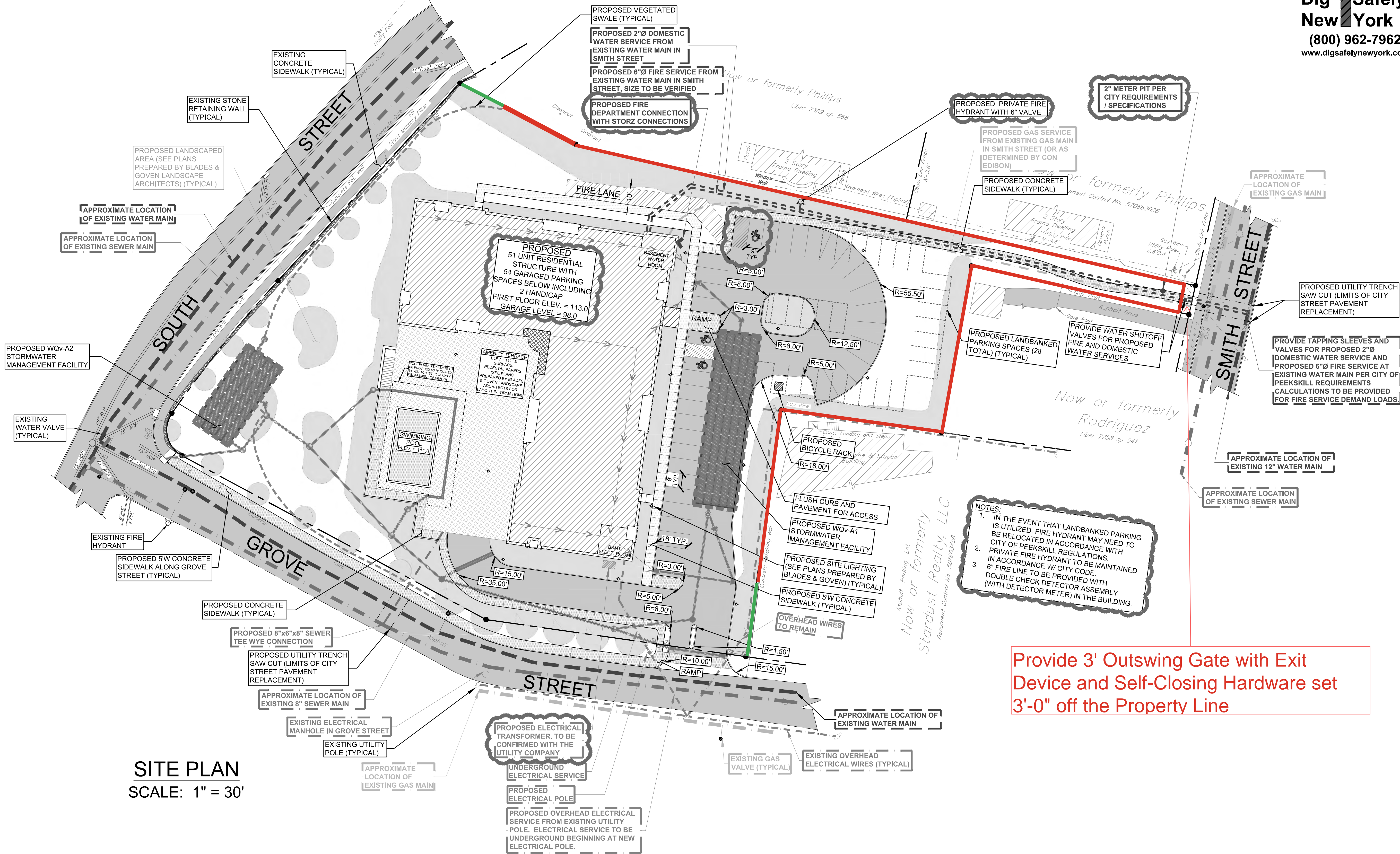
CHECKED BY: EG

DRAWING TITLE

**PARKING AND SIGNAGE PLAN**

SHEET NO.

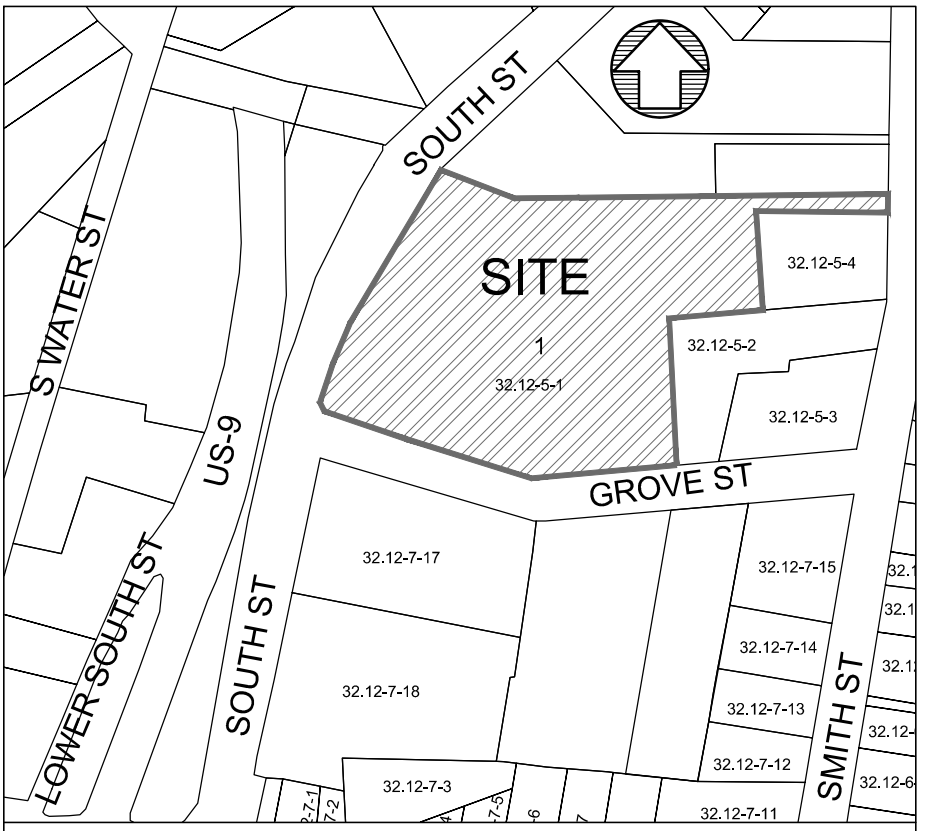
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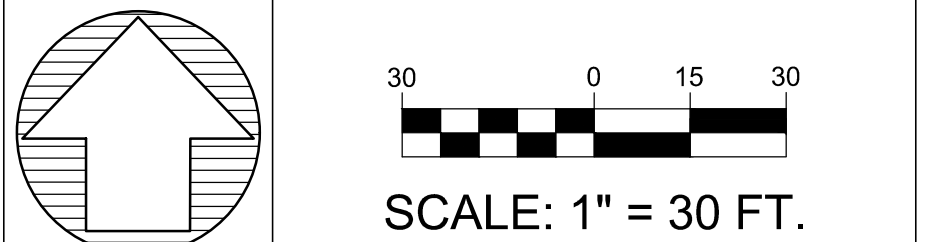
SITE PLAN  
SCALE: 1" = 30'

LEGEND

30' on South Street - 50' on Grove Street



VICINITY MAP SCALE: 1" = 200'



LANDSCAPE ARCHITECT  
BLADES & GOVEN LANDSCAPE ARCHITECTS  
C/O EARL J. GOVEN, ASLA  
PO BOX 1581  
FAIRFIELD, CONNECTICUT 06825  
SURVEYOR  
BADEY AND WATSON  
SURVEYING AND ENGINEERING, P.C.  
C/O GLENNON J. WATSON, LC  
3063 ROUTE 9  
COLD SPRING, NEW YORK 10516  
OWNER/APPLICANT  
RIVER VIEW PLACE ASSOCIATES OF  
PEEKSKILL, LLC  
111 BROOK STREET, 2ND FLOOR  
SCARSDALE, NEW YORK 10583

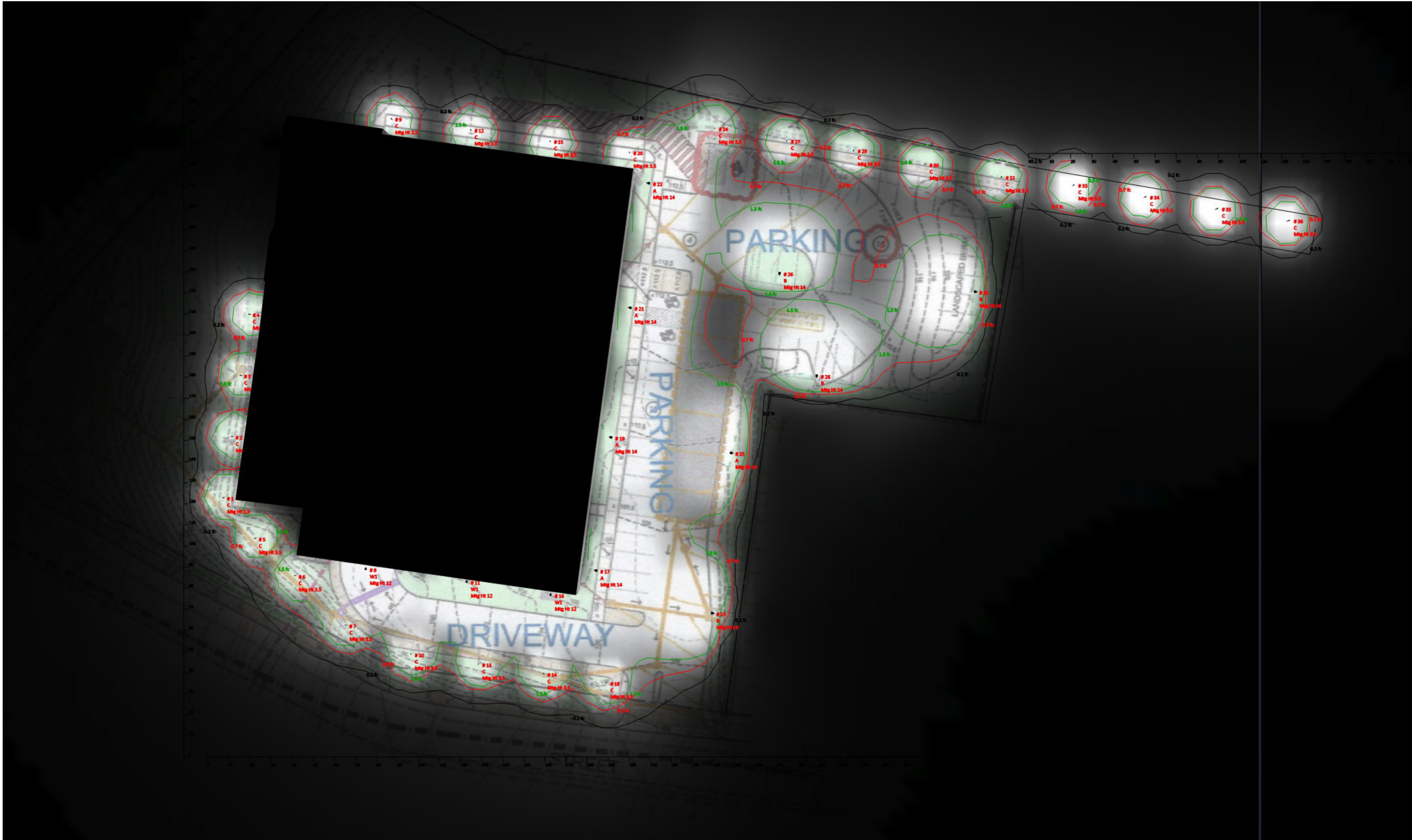
• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
• COPYRIGHT "2022" BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS		
#	REASON	DATE
4	WATER / SEWER SUPERINTENDENT COMMENTS	APRIL 20, 2022
3	COP RESOLUTION AND TECTONIC ENGINEERING COMMENTS	MARCH 17, 2022
2	COP RESOLUTION AND TECTONIC ENGINEERING COMMENTS	OCTOBER 19, 2020
1	CITY OF PEEKSKILL AND TECTONIC ENGINEERING COMMENTS	JUNE 19, 2020
PEEKSKILL TAX IDENTIFICATION		
SECTION:	32.12	
BLOCK:	05	
LOT:	01	
DESIGN BY:	KCS/TC3	
DRAWN BY:	KAA	
CHECKED:	KCS/TC3	
PROJECT:	505 SOUTH STREET	
DATE:	JANUARY 20, 2020	
JOB #:	160101	
		TIMOTHY L. CRONIN III, P.E. LICENSE #062980

**CRONIN ENGINEERING**  
PROFESSIONAL ENGINEERING & CONSULTING  
(914) 736-3664

39 Arlo Lane  
Cortlandt Manor, New York 10567

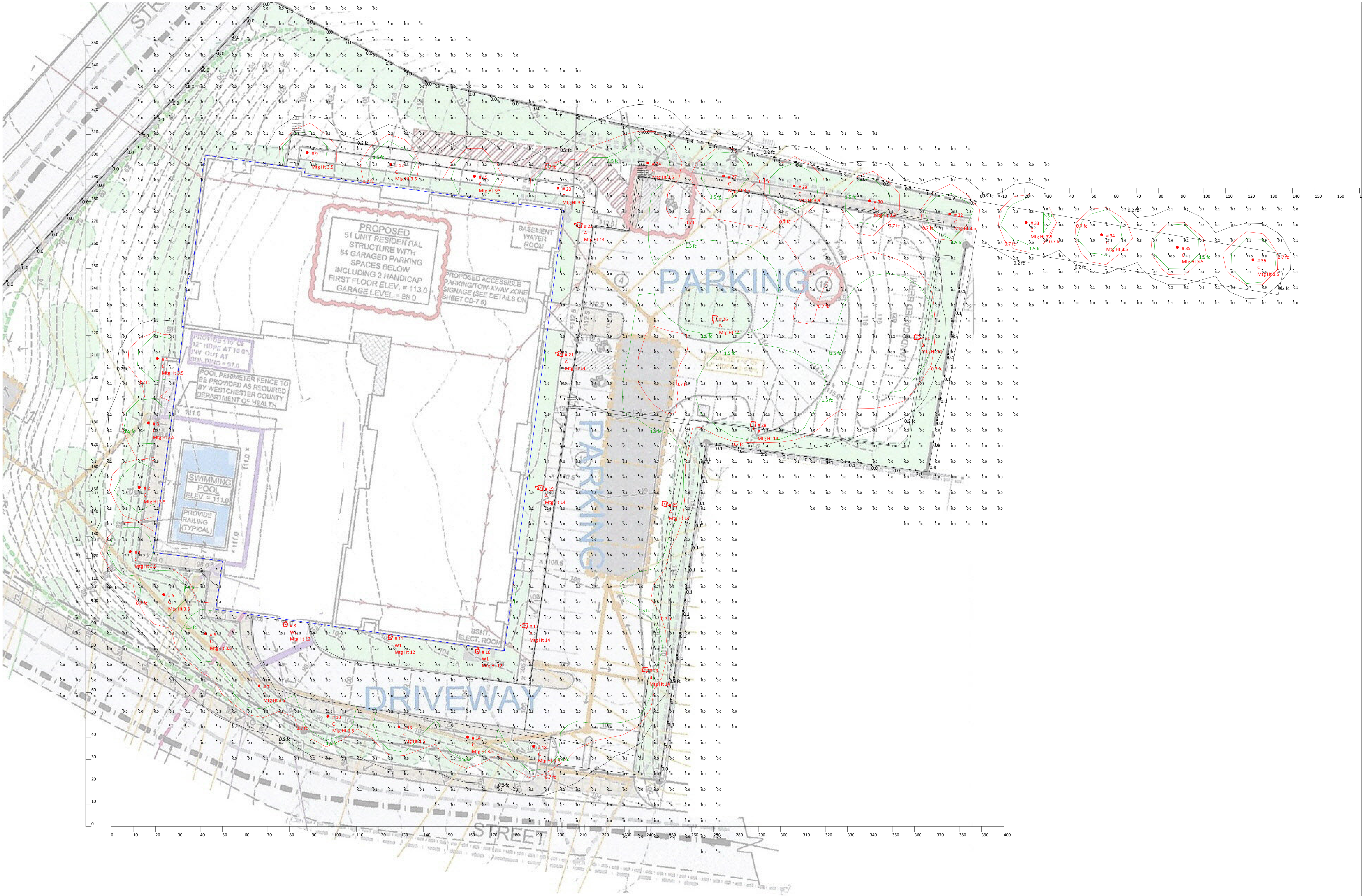
CIVIL SITE PLAN  
SITE DEVELOPMENT PLAN  
FOR  
RIVER VIEW PLACE  
505 SOUTH STREET  
LOCATION:  
GROVE STREET + SOUTH STREET  
CITY OF PEEKSKILL, NEW YORK  
SHEET 3 OF 12 CSP-3.1



East Point River View  
505 South

Drawn By: Patrick Carbone  
Checked By:  
Date: 8/28/2025  
Scale: As Noted





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#	Comments
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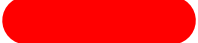









Scale: 1 inch= 20 Ft.

Comments	
Date	08/28/2025
#	3
Revisions	

Drawn By: Patrick Carbone
Checked By:
Date: 8/28/2025
Scale: As Noted

Luminaire Schedule								
Tag	Symbol	Qty	Label	Description	Lum. Lumens	LLF	Lum. Watts	Total Watts
A		5	ALEDM3TY + ALEDMHS	Direct drill, with shields, 3000K, set to 90W	17964	0.600	145.9	729.5
B		4	ALEDM4T + ALEDMHS	Direct drill, with shields, 3000K, set to 90W	17956	0.600	150.3	601.2
C		24	B17D 19W 3000K	Ground mounted	2811	1.000	17.9321	430.37
W1		3	ALEDS3TWMY	Wall mounted, Type III optic, 3000K, set to 150W	10458	1.000	81.2	243.6

Fixture Color Legend	
	Standard
	Emergency
	LightCloud Controls
	LightCloud Emergency
	Non-LightCloud Controls

Isoline Legend Illuminance (Fc)	
Color	Value
	0.2
	0.7
	1.5

Luminaire Tag Summary	
Tag	Qty
A	5
B	4
C	24
W1	3

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	2.05	28.5	0.0	N.A.	N.A.
Dog Run	Illuminance	Fc	1.37	27.3	0.0	N.A.	N.A.
Est Property Line	Illuminance	Fc	0.29	1.9	0.0	N.A.	N.A.
Est Property Line_1	Illuminance	Fc	0.08	0.2	0.0	N.A.	N.A.
Est Property Line_2	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Park North	Illuminance	Fc	2.63	11.6	0.0	N.A.	N.A.
Park South	Illuminance	Fc	4.32	12.2	0.4	10.80	30.50
Path North	Illuminance	Fc	4.15	24.7	0.2	20.75	123.50
Pavement	Illuminance	Fc	3.41	18.9	0.0	N.A.	N.A.



Revisions	
#	Comments
3	08/28/2025

Drawn By: Patrick Carbone	
Checked By:	
Date: 8/28/2025	
Scale: As Noted	

East Point River View

505 South

Luminaire Location Summary			
Lum No	Label	MH	Tilt
1	B17D 19W 4000K	3.5	0
2	B17D 19W 4000K	3.5	0
3	B17D 19W 4000K	3.5	0
4	B17D 19W 4000K	3.5	0
5	B17D 19W 4000K	3.5	0
6	B17D 19W 4000K	3.5	0
7	B17D 19W 4000K	3.5	0
8	ALED3TWMY	12	0
9	B17D 19W 4000K	3.5	0
10	B17D 19W 4000K	3.5	0
11	ALED3TWMY	12	0
12	B17D 19W 4000K	3.5	0
13	B17D 19W 4000K	3.5	0
14	B17D 19W 4000K	3.5	0
15	B17D 19W 4000K	3.5	0
16	ALED3TWMY	12	0
17	ALEDM3TY + ALEDMHS	14	0
18	B17D 19W 4000K	3.5	0
19	ALEDM3TY + ALEDMHS	14	0
20	B17D 19W 4000K	3.5	0
21	ALEDM3TY + ALEDMHS	14	0
22	ALEDM3TY + ALEDMHS	14	0
23	ALEDM4T + ALEDMHS	14	0
24	B17D 19W 4000K	3.5	0
25	ALEDM3TY + ALEDMHS	14	0
26	ALEDM4T + ALEDMHS	14	0
27	B17D 19W 4000K	3.5	0
28	ALEDM4T + ALEDMHS	14	0
29	B17D 19W 4000K	3.5	0
30	B17D 19W 4000K	3.5	0
31	ALEDM4T + ALEDMHS	14	0
32	B17D 19W 4000K	3.5	0
33	B17D 19W 4000K	3.5	0
34	B17D 19W 4000K	3.5	0
35	B17D 19W 4000K	3.5	0
36	B17D 19W 4000K	3.5	0

DAMIN SALES

Electrical Manufacturers Representatives

Drawn By: Patrick Carbone	#	Date	08/28/2025	Comments
Checked By:				
Date: 8/28/2025				
Scale: As Noted				

Revisions	

East Point River View

505 South

Page 4 of 4

LEGEND

- CATCH BASIN  
 DRAIN INLET  
 UTILITY POLE  
 SIGN POST  
 HYDRANT  
 WATER VALVE  
 GAS VALVE  
 LIGHT POLE  
 TRAFFIC POLE  
 TELE. MANHOLE  
 ELECTRIC BOX  
 SEWER MANHOLE  
 WATER MANHOLE  
 ELECTRIC MANHOLE  
 DRAIN MANHOLE  
 MANHOLE  
 MONITORING WELL  
 VALVE  
 14 TREE  
SIZE  
+242.5 EXIST. ELEV.  
+(242.5) PROP'D ELEV.  
 14 TREE  
(TO BE REMOVED)



GABRIEL E. SENOR, P.C.  
Engineer & Surveyor  
90 NORTH CENTRAL AVE, HARTSDALE, NEW YORK 10530  
(914) 422-0070

JOB NUMBER: PK32.12-5-1

Possession only where indicated

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for New York State Association of Land Surveyors. This Survey is a representation of the property as surveyed on March 1, 2024, the date that the field work was performed. Subsequent revision dates do not constitute an updated survey.

Eliot Senor, L.S. New York State Lic. No. 049822

Copies of the survey map not bearing the land surveyor's original blue signature and embossed seal shall not be considered to be a true and valid copy. Copyright Gabriel E. Senor, P.C., 2024. ALL RIGHTS RESERVED.

Certifications indicated are limited only to the entity for which this survey was prepared and on its behalf to the title company, governmental agency and lending institution for the policy numbers listed hereon. These certifications are not transferable.

A Title report lists easements and restrictions that are recorded in the County Clerk's office, if the report was not provided these easements and or restrictions may not be shown. A copy of the title report was not provided. A copy of the deed was provided. There may also be Easements and Restrictions that are not recorded. Survey may be subject to easements not shown.

Surface elevations and underground appurtenances, if any, whether or not shown are not certified. This survey shows straight lines between located points for fences or other possession along property line. This also applies to connections between located surface appurtenances of underground items. These connections or possession lines generally do not follow a straight line and therefore are schematic only. Any dimensions shown are to the surveyed point only. Labeled dimensions cannot be used for any other point along the line.

Unauthorized alteration or additions to the survey map is a violation of Section 7209 sub-section 2 of the New York State Education Law

Certified to: River View Place Associates of Peekskill LLC, Tompkins Community Bank, its successors and/or assigns as pertains to Title No. W 21 21219 only, First American Title Insurance Company & Madison Abstract for Title No. W 21 21219 only.

AS-BUILT FOUNDATION SURVEY OF  
TAX LOT No.1  
ALSO KNOWN AS  
505 SOUTH STREET  
LOCATED IN THE  
CITY OF PEEKSKILL  
WESTCHESTER COUNTY, NEW YORK

GABRIEL E. SENOR, P.C.  
CONSULTING ENGINEER LAND SURVEYORS  
90 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530  
(914) 422-0070 FAX 422-3009

SCALE: 1" = 40'

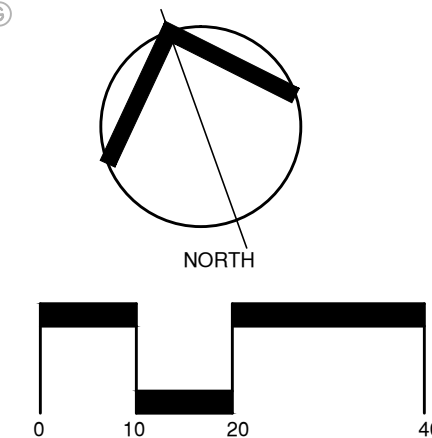
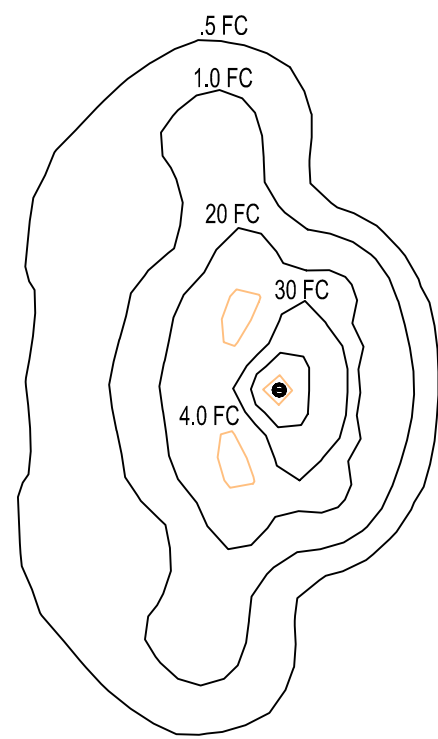
DATE: MARCH 18, 2024

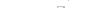
DRAWN BY: EJC. CHECKED BY: ES.









	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING ELECTRIC LINE
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING DRAINAGE STRUCTURE/MANHOLE
	EXISTING CATCH BASIN
	EXISTING HYDRANT/WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MONUMENT / TEL BOX / SIGN
	PROPERTY LINE
	NEW CURB
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	TOP STEP/BOTTOM STEP
	TOP RAMP/BOTTOM RAMP
	ACCESSIBLE ROUTE
	FLUSH CONDITION
	PROPOSED LIGHT FIXTURE

1. SURVEY DATA TAKEN FROM PLAN ENTITLED "SURVEY OF PROPERTY PREPARED FOR MARKEVA ESTATES CO. IN THE CITY OF PEEKSKILL, WESTCHESTER COUNTY, NY". PREMISE BEING TAX LOT 1, BLOCK 5, SHEET 32.12 AS SHOWN ON THE ASSESSMENT MAPS FOR THE CITY OF PEEKSKILL. ALSO AS FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE IN LIBER 8663, PAGE 88 OF DEEDS, PREPARED BY WARD CARPENTER ENGINEERS INC, 76 MAMARONECK AVENUE WHITE PLAINS, NY. 10601, DATED JAN. 25 2016, SCALE 1"=30'.
2. ADDITIONAL EXISTING CONDITIONS AND TOPOGRAPHIC INFORMATION TAKEN FROM PLAN ENTITLED "SITE DEVELOPMENT PLAN FOR RIVERVIEW PREPARED FOR RIVERVIEW PARK ASSOCIATES OF PEEKSKILL, LLC BY WARD CARPENTER ENGINEERS INC AND CRONING ENGINEERING DATED 3/23/16
3. LOT AREA = 2.3683 ACRES
4. ALL EXISTING IMPROVEMENTS IN CONFLICT WITH NEW SITE AND BUILDING WORK SHALL BE DEMOLISHED AND REMOVED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS.
5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL SITE UTILITIES (UNDERGROUND AND ABOVE GROUND) PRIOR TO CONSTRUCTION. UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ALL DISTURBED PAVEMENTS, CURBS, UTILITIES, LANDSCAPED AREA, ETC. NOT SCHEDULED TO BE REMOVED SHALL BE REPAIRED IN KIND AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR TO PROVIDE AS-BUILTS OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PAVEMENTS AND STRUCTURES.
8. TIMING OF ALL OFF-SITE WORK SHALL BE COORDINATED WITH THE CITY OF PEEKSKILL ENGINEERING DEPARTMENT AND THE OWNER.

THIS DRAWING AND DETAILS ON IT, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF THE LANDSCAPE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT AND SHALL NOT BE LOANED, COPIED OR REPRODUCED WITHOUT CONSENT OF THE LANDSCAPE ARCHITECT.

PREPARED BY:



REVISIONS:

NO	DATE	REVISION	BY
1	2-10-20	ZBA SUBMITTAL	BG

PROJECT NAME

RIVER VIEW  
PLACE

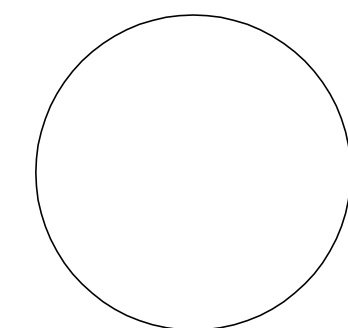
505 SOUTH STREET  
PEEKSKILL, NY

PREPARED FOR

RIVER VIEW  
PLACE  
ASSOCIATES

10 JULIA LANE  
COLD SPRING, NY

PROFESSIONAL SEARCH



DATE 1-24-2020

SCALE 1"=20'

DRAWN BY \_\_\_\_\_ RS

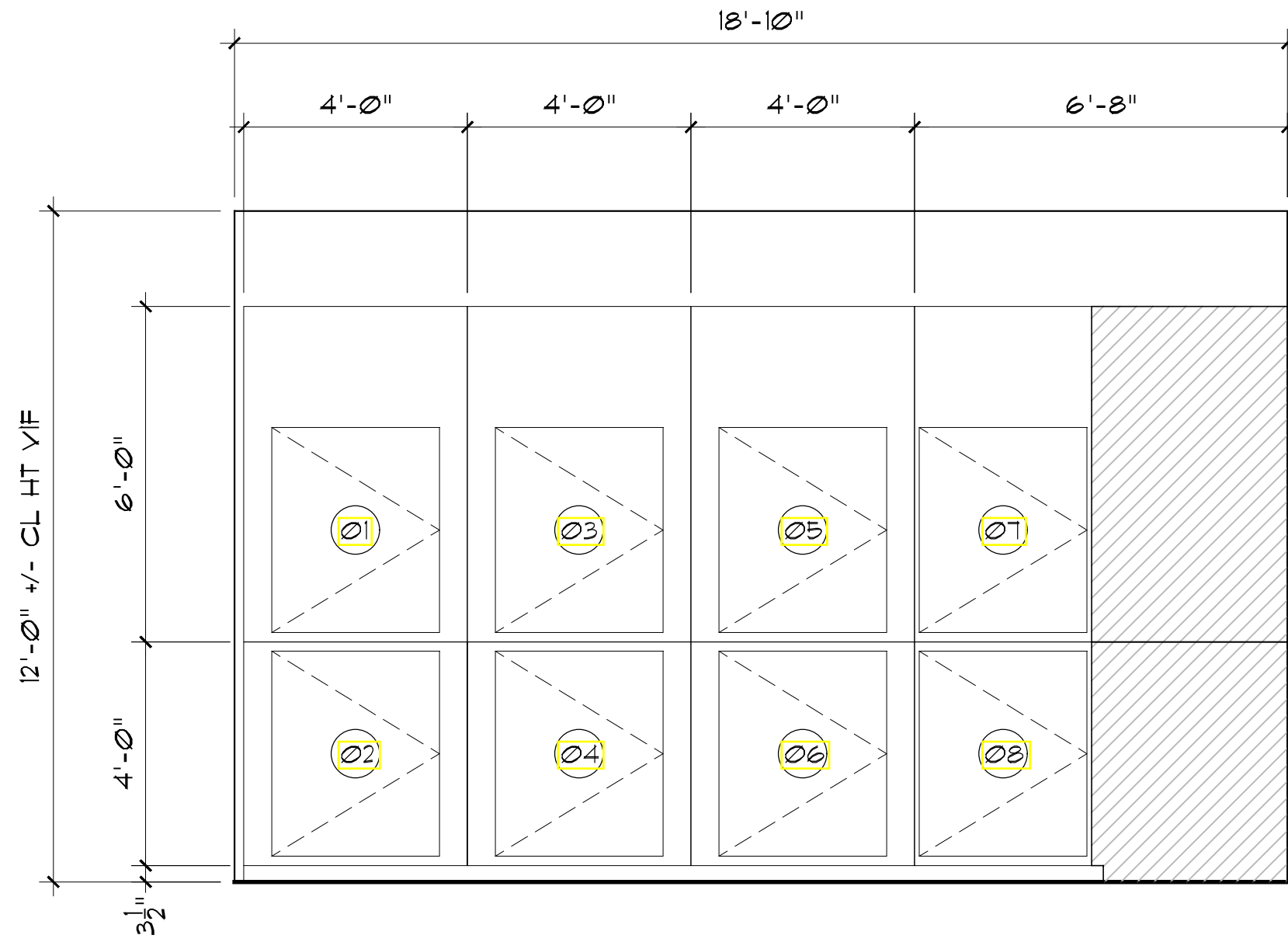
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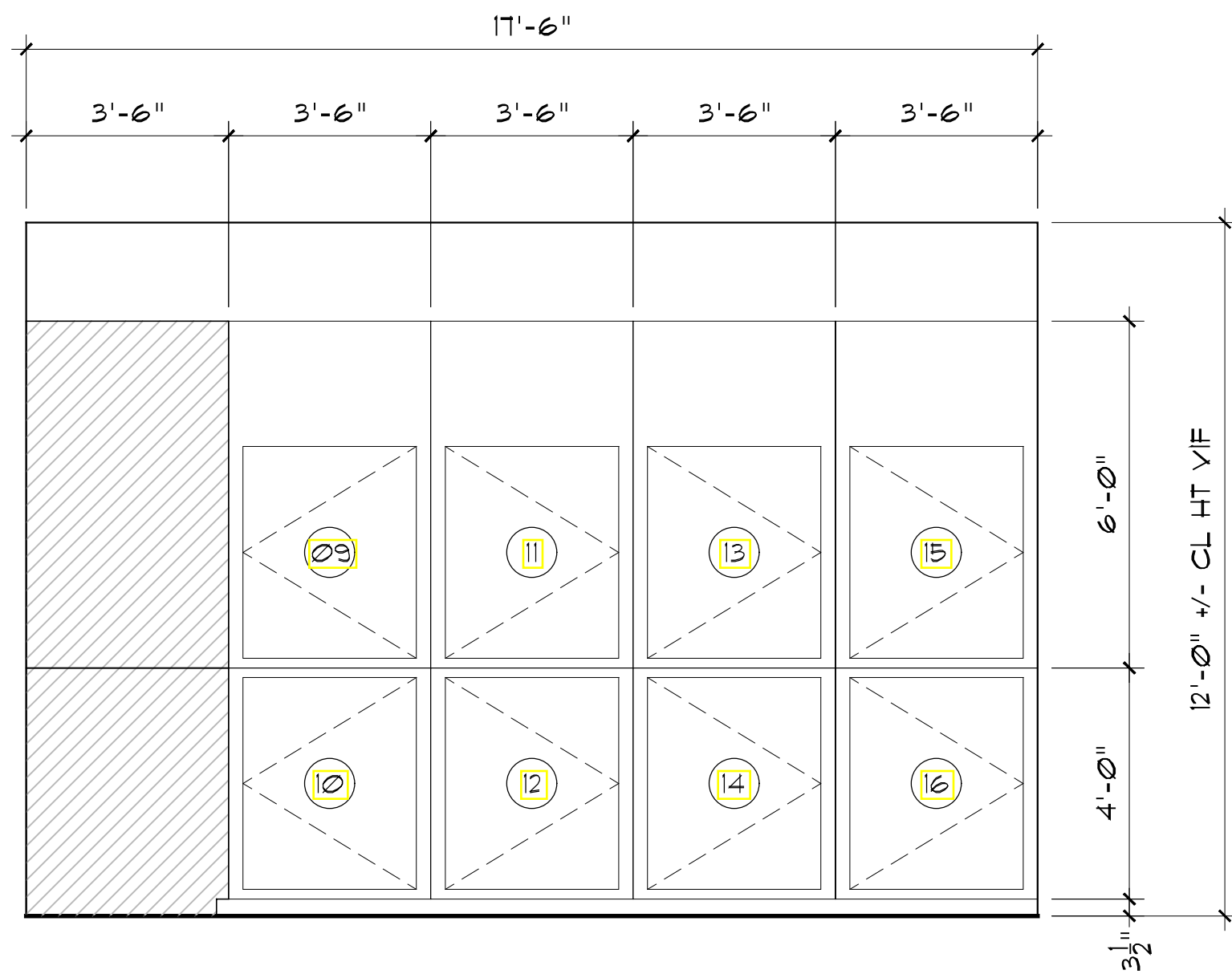
LANDSCAPE/  
SITE LIGHTING  
PLAN

SHEET NO.

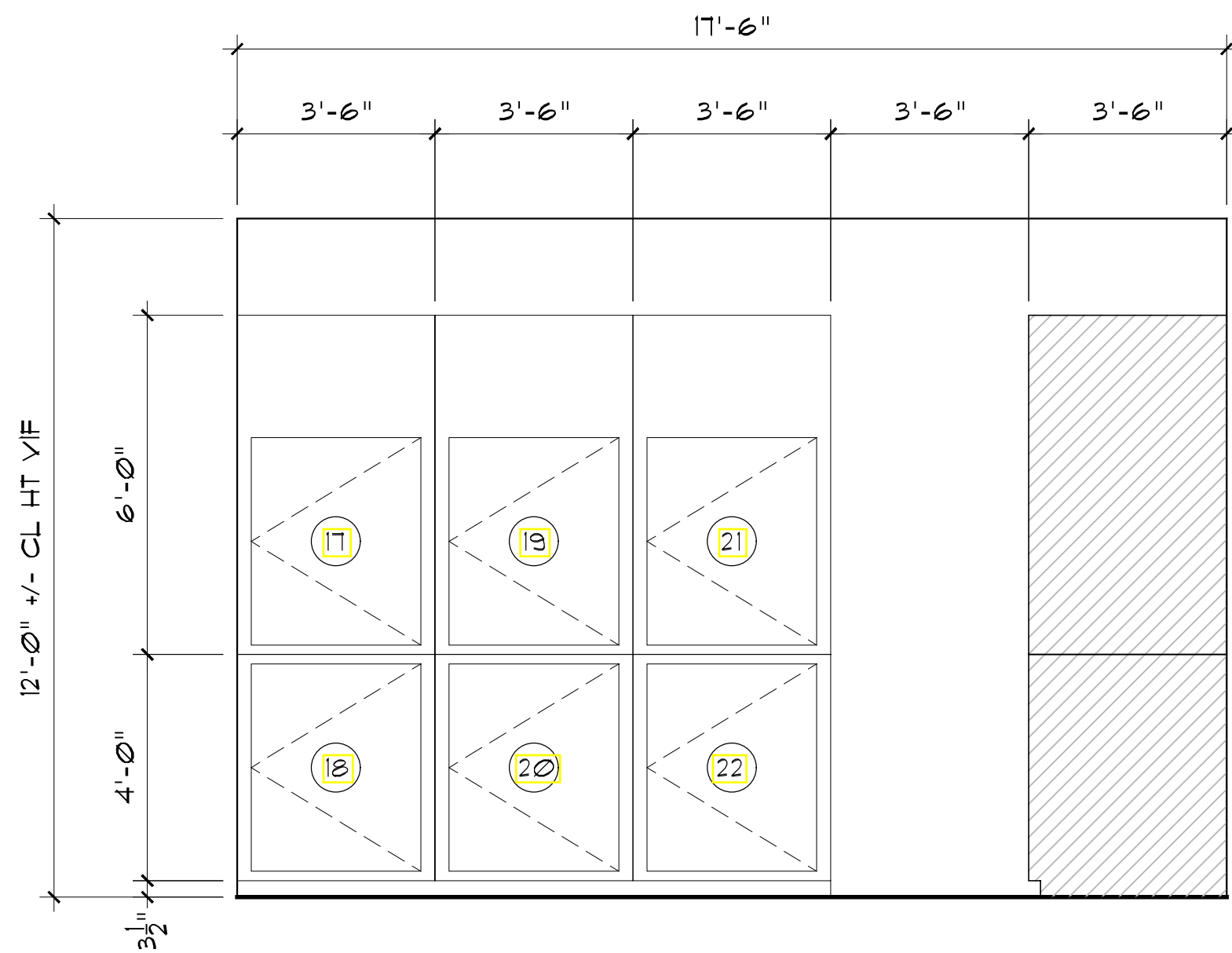
SP-3



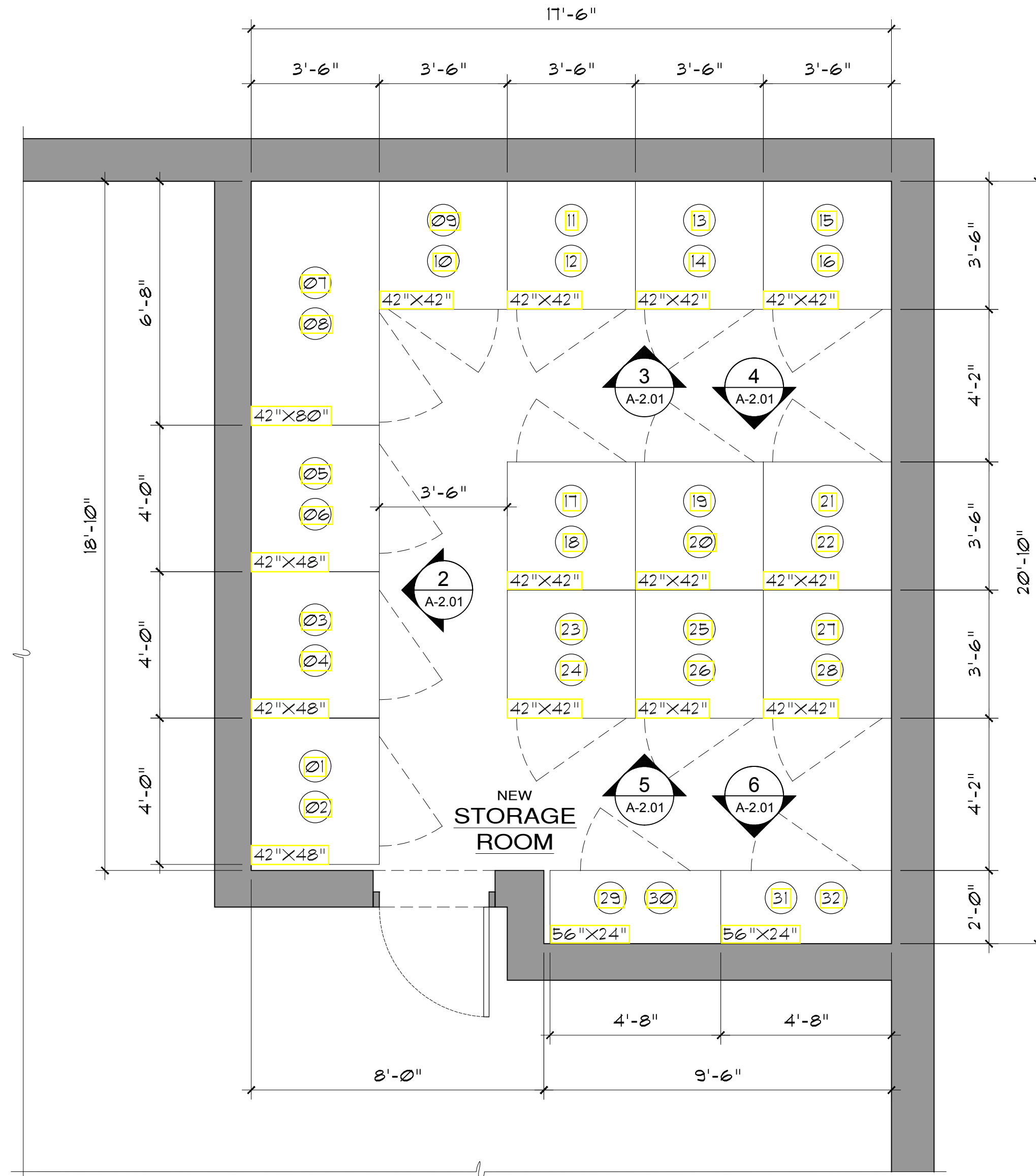
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A1.01 Scale: 3/8" = 1'-0"



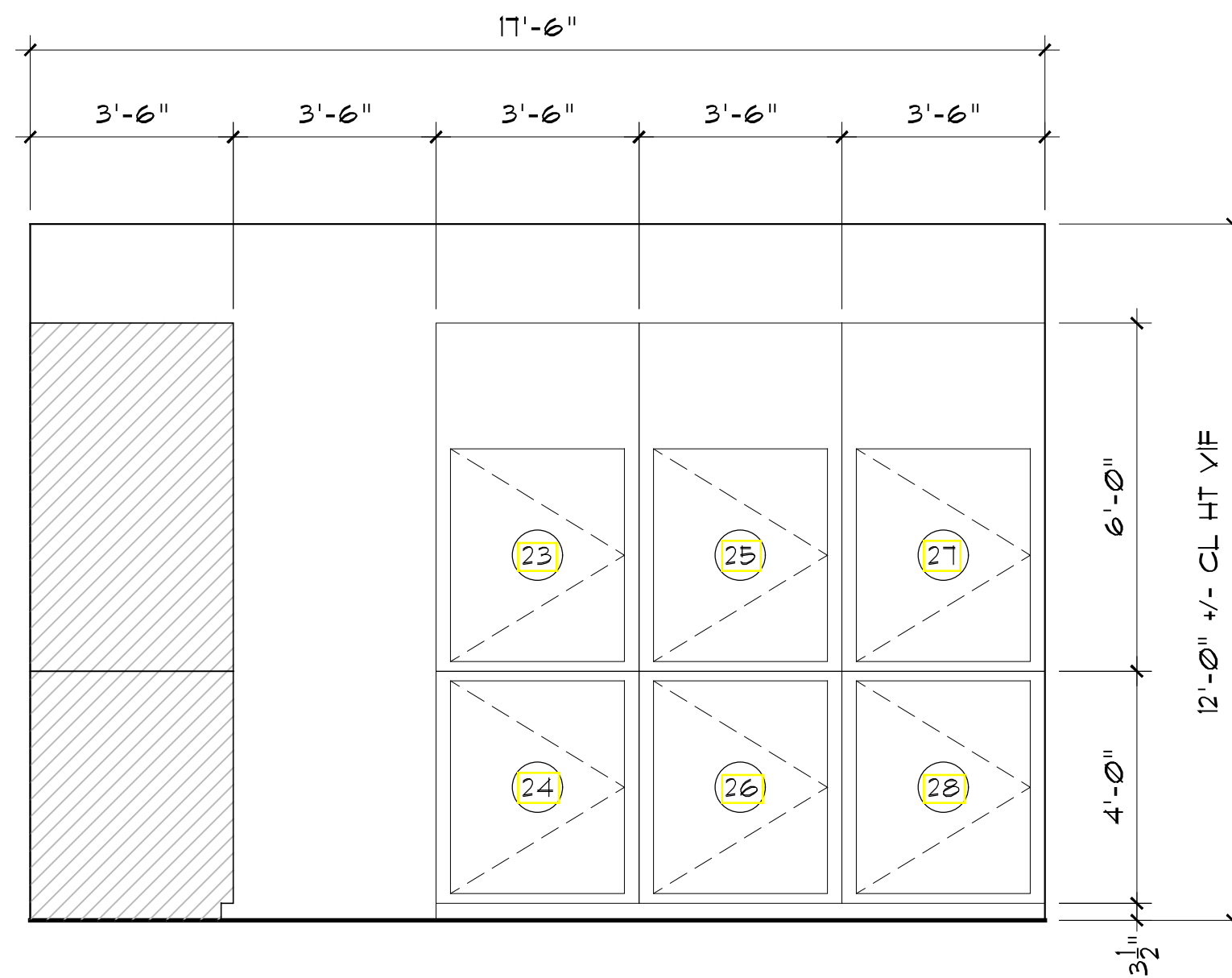
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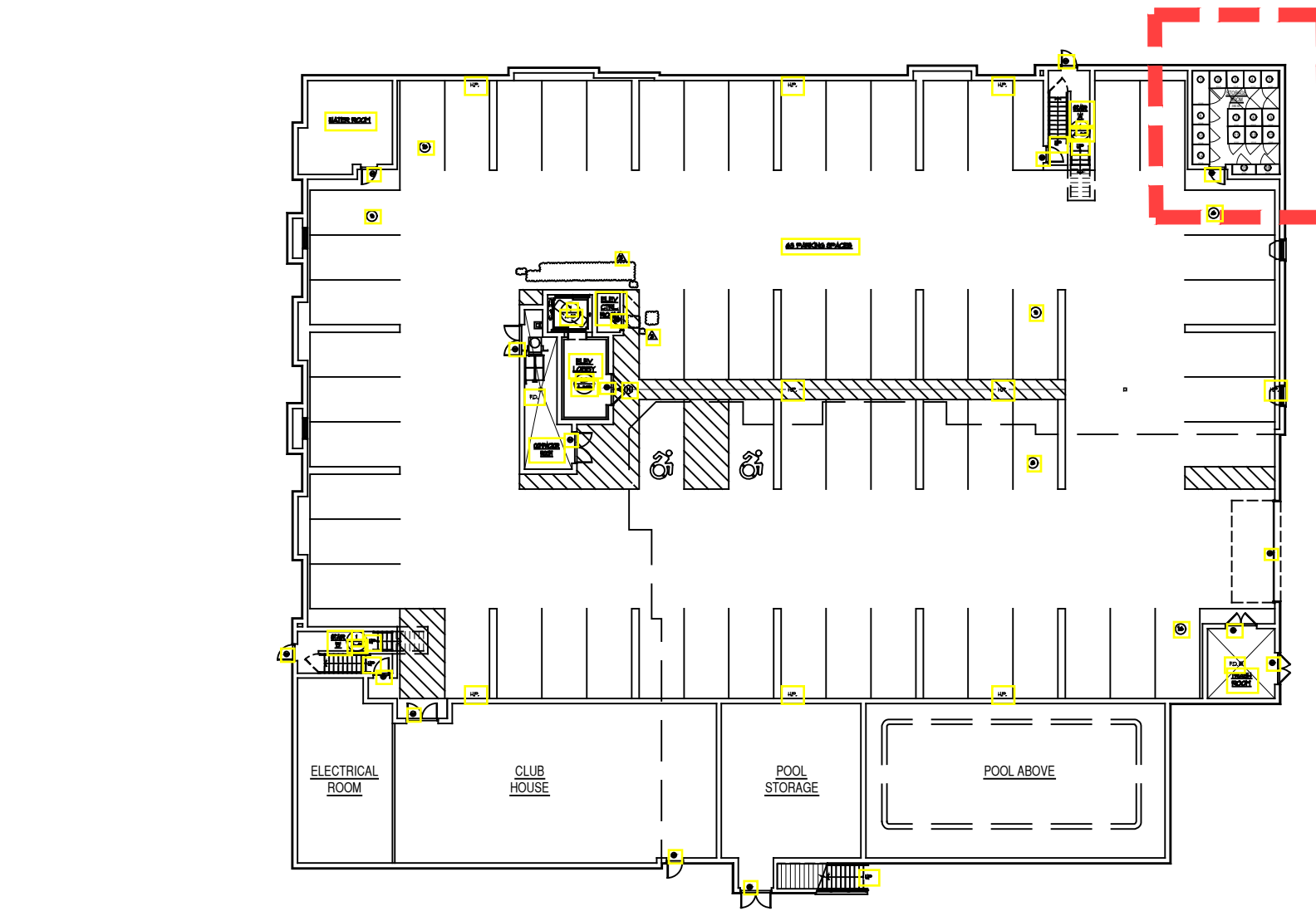
4 Storage Unit Elevation  
A1.01 Scale: 3/8" = 1'-0"



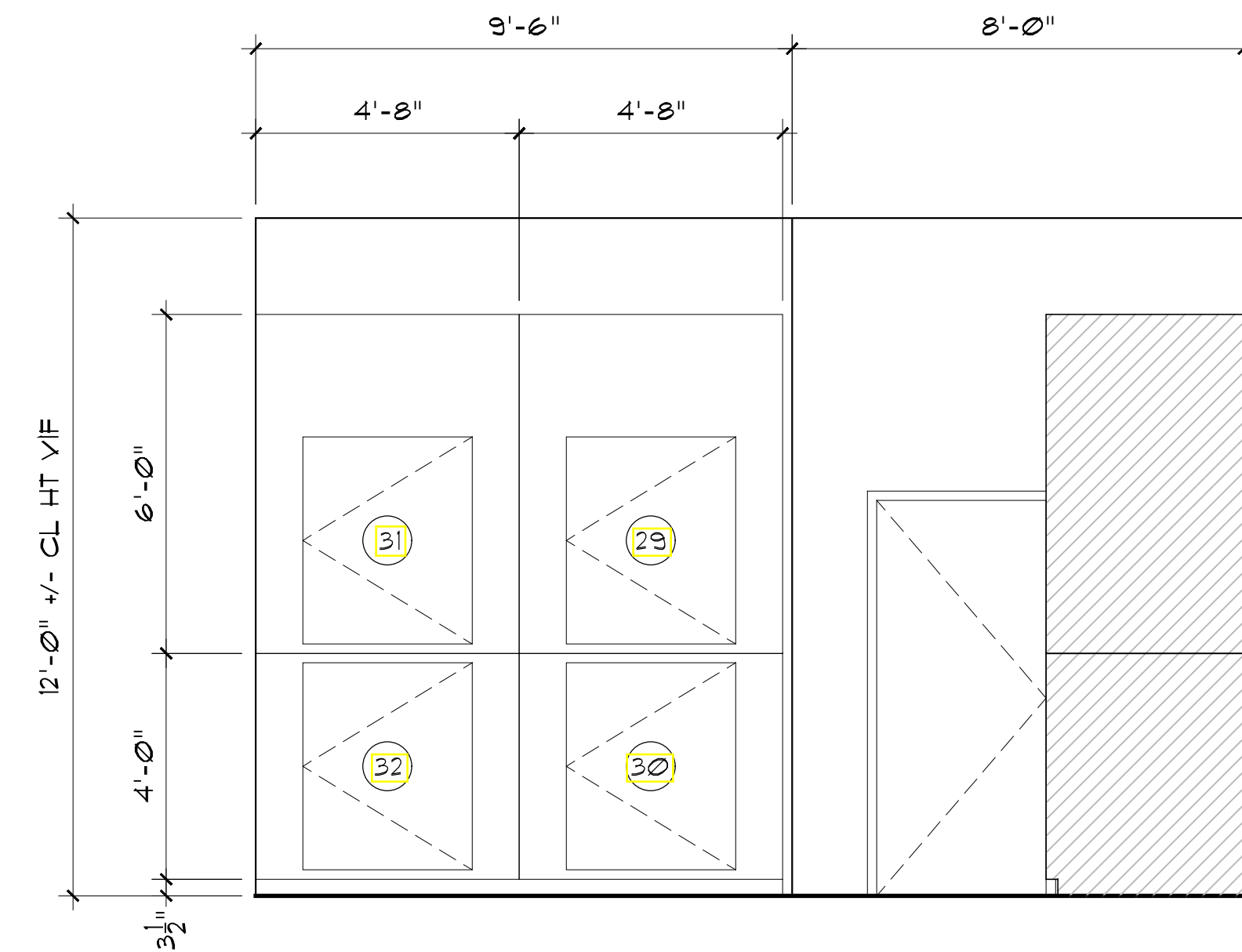
1 Storage Unit Plan  
A1.01 Scale: 3/8" = 1'-0"



5 Storage Unit Elevation  
A1.01 Scale: 3/8" = 1'-0"



7 Key Plan  
A1.01 Scale: 1/32" = 1'-0"



6 Storage Unit Elevation  
A1.01 Scale: 3/8" = 1'-0"

To: **City of Peekskill Planning Commission**  
City Hall  
840 Main Street  
Peekskill, New York 10566

Attn: **Chair Stern & Planning Commission Members**

Date: November 10, 2025

RE: **EAST POINT ON HUDSON- IN-HOUSE MINOR MODIFICATION NARRATIVE**  
505 South Street, Peekskill, New York 10566  
S-B-L: 32.12-5-1

---

Our office is pleased to represent Riverview Associates of Peekskill, Inc. to propose modifications to the project currently under construction at the property at 505 South Street. This new luxury residential apartment development that is planned to be completed this Winter offers graciously sized apartment units, ample amenities and spectacular views of the Hudson River.



**Figure 1. Photograph of current construction of East Façade taken on September 17, 2025.**

Summary of modifications proposed:

- New Clubhouse amenity space. An area originally planned for storage units is proposed to be converted into a new Clubhouse amenity space.
- New Dog Walk. Provide Dog Walk area in the section of property connecting the outdoor Parking area to Spring Street.
- Entrance Gates: Remove prior proposed entrance gates.

Additional Documents provided as per request of the Planning Department:

- Photometric Plans required as a condition of approval:
  - General Parking Lot Lighting that includes a combination of pole type fixtures and building mounted fixtures.
  - New bollard lighting along walking paths.
- As-Built Survey



**Figure 2. Photograph of current site construction & retaining walls taken September 17, 2025.**



**Figure 3. Photograph of existing basement space proposed to convert to new Clubhouse taken on September 17, 2025.**



**Figure 4. Photograph of the view from patio area immediately outside proposed new clubhouse taken on September 17, 2025.**



**Figure 5. Photograph of West Façade, Outdoor Courtyard and Pool Construction taken on September 17, 2025**



**Figure 6. Photograph of Outdoor Courtyard and Pool Area Construction taken on September 17, 2025**

The changes outlined above are proposed in the interest of improving building amenities within the building as constructed on site. We look forward to further reviewing this application with the Board. Please contact me should you have any questions or should any further information be required.

Respectfully Submitted,

Joseph G. Thompson, RA, M. Arch, NCARB, LEED AP, CDA, CDT  
NYS Registered Architect



Attachments:

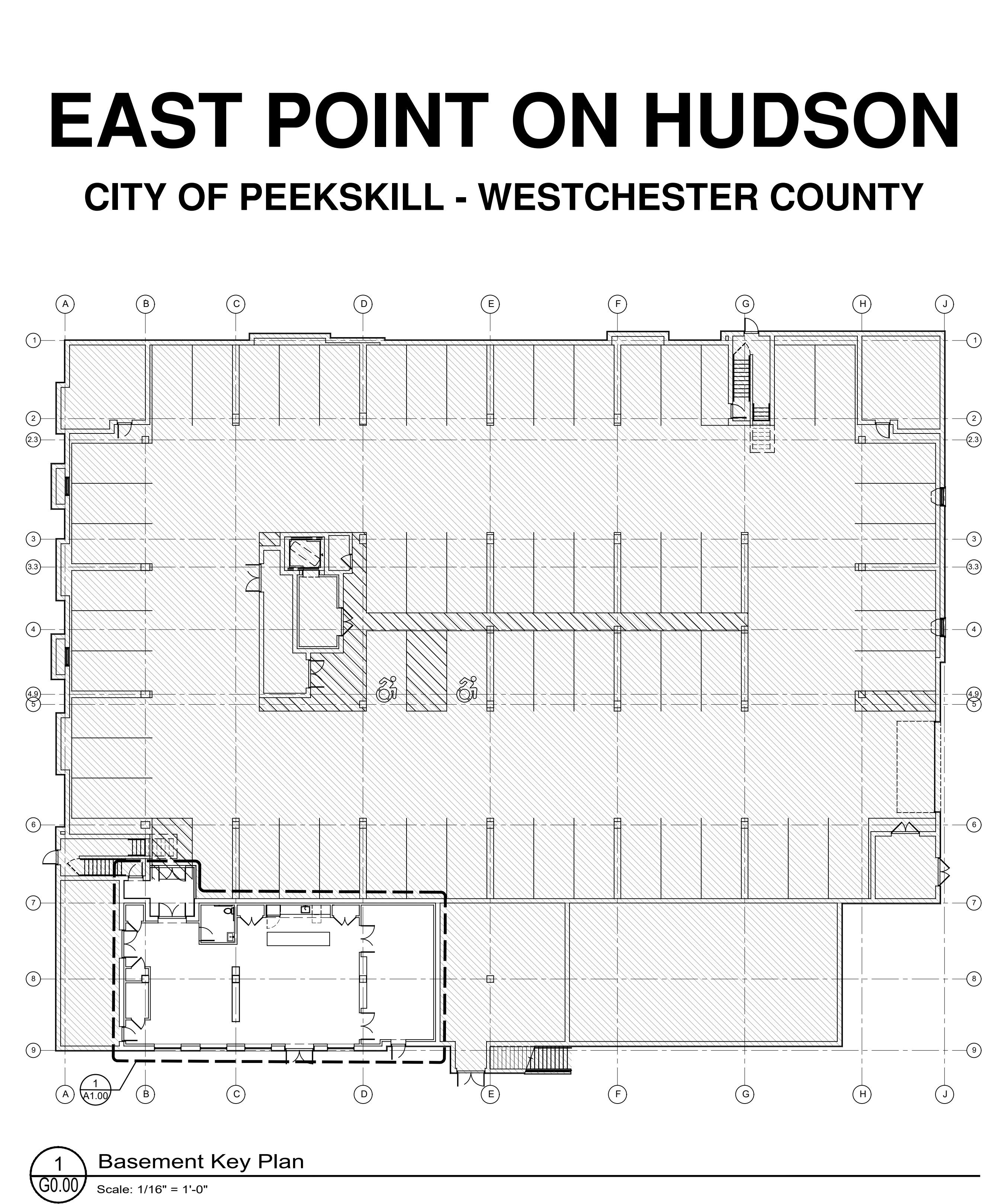
1. Proposed New Clubhouse Drawings dated September 15, 2025 (3 Sheets)
2. Fence Site Diagram dated September 9, 2025 (1 Sheet).
3. Exterior Lighting & Photometric Plans prepared dated August 28, 2025 (4 Sheets)
4. As-Built Survey dated March 18, 2024 (1 Sheet)

HABITABLE SPACE NATURAL LIGHT & VENTILATION		
CLUB ROOM (?? SF+/-)		
LIGHT:	8% REQ'D (12.16)	ARTIFICIAL LIGHTING PROVIDED
VENT:	4% REQ'D (6.08)	MECHANICAL VENTILATION PROVIDED
TV ROOM (?? SF+/-)		
LIGHT:	8% REQ'D (22.40)	16.14% PROVIDED (45.20)
VENT:	4% REQ'D (11.20)	15.07% PROVIDED (42.20)

BUILDING CONSTRUCTION COMPLIANCE - CERTIFICATION	
<p>- Title 19 (NYCRR)</p> <p>- Chapter XXXIII - State Fire Prevention and Building Code Counsel</p> <p>- Subchapter A - Uniform Fire Prevention and Building Code</p>	
<p>I do hereby certify that these drawings and specifications have been prepared under my supervision, and that to the best of my knowledge and professional judgment, the design has been made in conformance with all applicable requirements of Title 19 (NYCRR) - Chapter XXXIII, Subchapter A and the following referenced codes of New York State:</p> <p>New York State Building Code- 2020 Edition</p> <p>New York State Energy Conservation Construction Code- 2020 Edition</p>	
Signed	Joseph G. Thompson, NYS Registered Architect (License # 036057)

ENERGY CONSERVATION COMPLIANCE - CERTIFICATION	
<p>- Title 19 (NYCRR)</p> <p>- Chapter XXXIII - State Fire Prevention and Building Code Counsel</p> <p>- Subchapter B - State Energy Construction Conservation Code</p> <p>- Part 1240 - Energy Conservation Construction Code</p>	
<p>The proposed envelope system represented in these drawings and specifications has been designed to meet the requirements of Chapter 4 of the New York State Energy Conservation Construction Code - 2020 Edition</p> <p>I do hereby certify that these drawings and specifications have been prepared under my supervision, and that to the best of my knowledge and professional judgement, the design has been made in conformance with all applicable requirements of Title 19 (NYCRR) - Chapter XXXIII, Subchapter B - Part 1240</p> <p>General Contractor shall be required air seal the building envelope as required meet minimum air leakage test requirements in accordance with ECCCNYs 2020 Section C406.9 (Reduced Air Infiltration). Test results shall be submitted to Building Inspector and Architect for review.</p> <p>General Contractor shall be required to insulate ductwork and test for air leakage in accordance with ECCNYs 2020 Section C403.11. Certification of the testing results shall be submitted to the Building Inspector for review and approval prior to issuance of a Certificate of Occupancy.</p> <p>A COMcheck energy compliance analysis signed and sealed by a NYS Licensed Mechanical Engineer shall be submitted in addition to meeting the prescriptive method insulation requirements as noted on this sheet in accordance with ECCNYs 2020 Table C402.1.3 and shall be submitted to the Building Inspector for approval prior to start of construction.</p>	
Signed	Joseph G. Thompson, NYS Registered Architect (License # 036057)

CITY OF PEEKSKILL, NEW YORK						
Ground Snow Load	Wind Design				Seismic Category	
	Wind Speed	Topo Effects	Special Wind Region	Wind-borne Debris Zone		
30	*120	No	Yes	No	C	
Subject to Damage From						
Weathering	Frost Depth	Termite	Ice Shield Underlayment	Flood Hazards	Air Freezing Index	Mean Annual Temp
Severe	42"	Moderate to Heavy	Yes	N/A	1,500 or Less	51.6
*115 MPH to 120 MPH, The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.						



ENERGY CODE COMPLIANCE PER ECCCNYs 2020 EDITION TABLE C402.1.3												
CRITERIA	CLIMATE ZONE	FENESTRATION U-FACTOR	ENTRANCE DOORS U-FACTOR	SKYLIGHT U-FACTOR	SHGC	CEILING R-VALUE	ROOF (ABOVE DECK)	WOOD FRAME WALL	MASS WALL R-VALUE	FLOOR R-VALUE	BELOW GRADE WALL	SLAB
MIN. REQ'D VALUE	4	0.38 FIXED 0.45 OPER	0.77	0.5	*0.36	38 CAVITY	30 CI (AVG)	20 CAVITY	11.4 CI	30 CAVITY	R-7.5 CI	10, 4 FT
PROVIDED VALUE	4	0.38 FIXED 0.45 OPER	0.77	N/A	0.36	38 CAVITY	N/A	21 CAVITY	N/A	N/A	N/A	N/A
*MOST RESTRICTIVE VALUE BASED ON CLIMATE ZONE AND A WINDOW PROJECTION FACTOR OF 0 HAS BEEN UTILIZED. NOTE: CLIMATE ZONE 4 ESTABLISHED FOR WESTCHESTER COUNTY. NOTE: BUILDING ENVELOPE SHALL BE TESTED IN ACCORDANCE WITH ASTM E779 AT A PRESSURE DIFFERENTIAL OF 0.3 INCH WATER GUAGE (75 Pa) AND SHALL NOT HAVE A LEAKAGE RATE GREATER THAN 0.4 CFM/SF												

PROJECT DESCRIPTION	
NEW COMMUNITY ROOM IN MULTI-FAMILY BUILDING.	
DRAWING INDEX	
<p>GENERAL:</p> <p>G0.00 TITLE SHEET / KEY PLAN</p> <p>G0.01 GENERAL NOTES</p> <p>LIFE SAFETY:</p> <p>LS1.00 NEW CLUB ROOM EGRESS PLAN</p> <p>STRUCTURAL: (BY MJ ENGINEERING &amp; DESIGN)</p> <p>SK-1 PROPOSED NEW WINDOW OPENING AT WEST ELEVATION</p> <p>FRAMING:</p> <p>FR1.00 NEW CLUB ROOM FRAMING PLAN &amp; WALL TYPES</p> <p>ARCHITECTURAL:</p> <p>A1.00 NEW CLUB ROOM ARCHITECTURAL PLAN</p> <p>A2.01 NEW WEST ELEVATION</p> <p>A3.01 BUILDING SECTION AT NEW CLUB ROOM</p> <p>A4.01 KITCHENETTE &amp; ADA RESTROOM ENLARGED PLAN &amp; INTERIOR ELEVATIONS</p> <p>A4.02 ADA RESTROOM GUIDELINES, PLAN AND ELEVATIONS</p> <p>A6.01 WINDOW SCHEDULE AND DETAILS</p> <p>A6.02 DOOR SCHEDULE AND DETAILS</p> <p>ELECTRICAL:</p> <p>E1.00 NEW CLUB ROOM ELECTRICAL CEILING PLAN</p>	

JTA

JOSEPH THOMPSON ARCHITECT

Joseph G. Thompson Architect, PLLC  
108 N Division Street, Suite 100  
Peekskill, New York 10566

PH: (845) 532-8156  
EM: joe@jthompsonarch.com

NOTES:

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ARCHITECT OR ENGINEER SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.

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REGISTERED ARCHITECT

JOSEPH G. THOMPSON

036057

STATE OF NEW YORK

SEAL

Joseph G. Thompson, RA  
New York State License #036057  
Expiration: August 31, 2027

EASTPOINT ON HUDSON

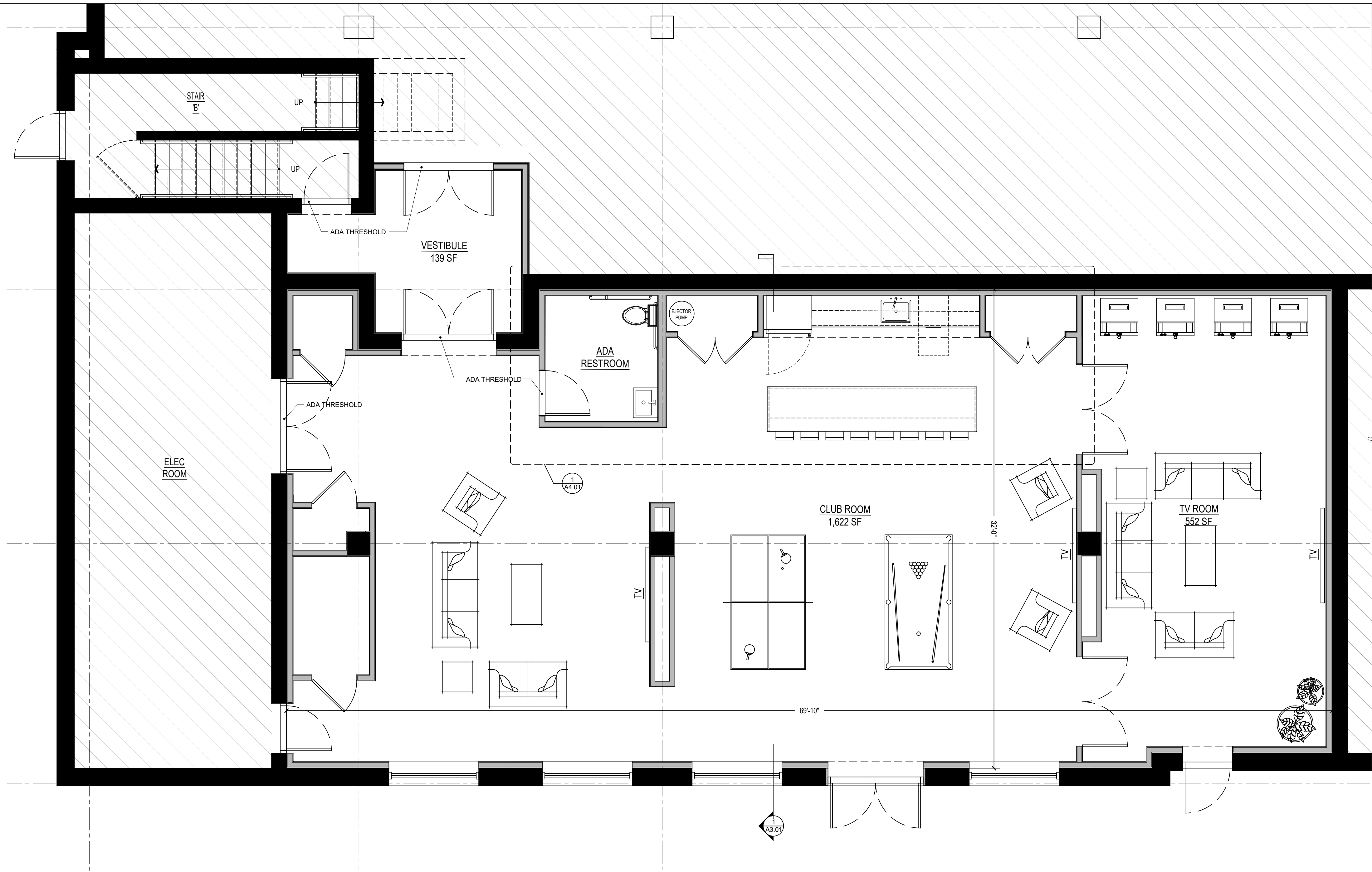
Forkestein Timberger/ East Real Estate (Owner)  
505 South Street  
Peekskill, New York 10566  
S-B-L-32.12-5-1  
City of Peekskill - Westchester County

FOR PERMIT AND CONSTRUCTION

Date: September 15, 2025

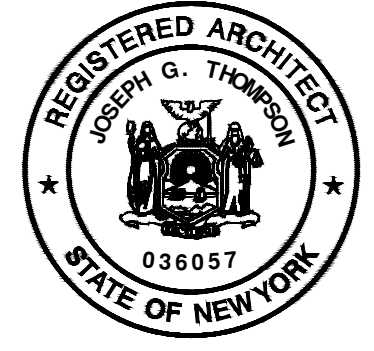
Revisions:


G0.00



Legend	
	EXISTING WALLS
	NEW WALLS

1 New Club Room Architectural Plan  
A1.00 Scale: 1/4" = 1'-0"



**EASTPOINT ON HUDSON**

Finkelstein Timberger East Real Estate (Owner)  
505 South Street  
Peekskill, New York 10566  
S-B-L-32-12-5-1  
City of Peekskill - Westchester County

**FOR PERMIT AND CONSTRUCTION**

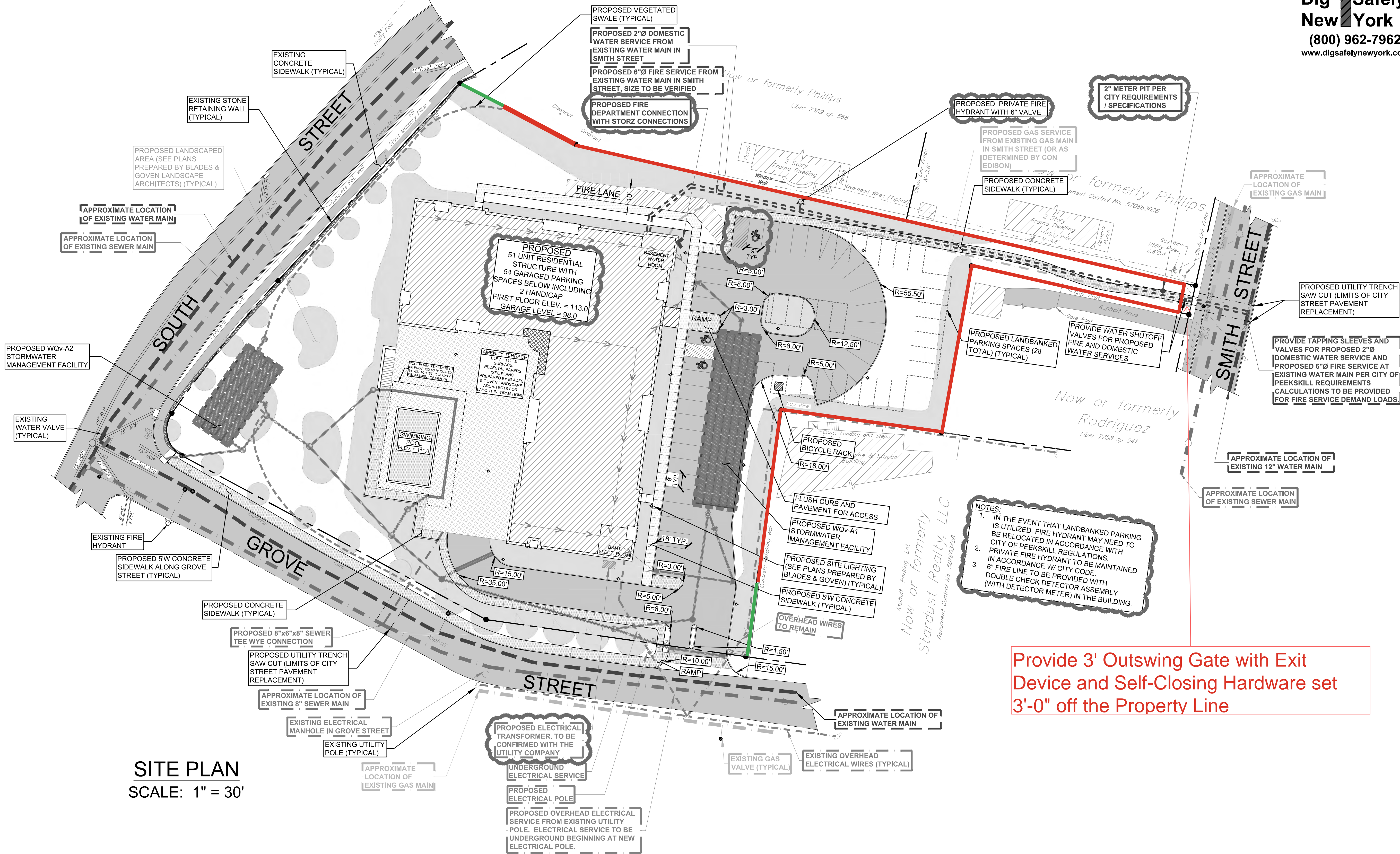
Date: September 15, 2025

Revisions:


A1.00



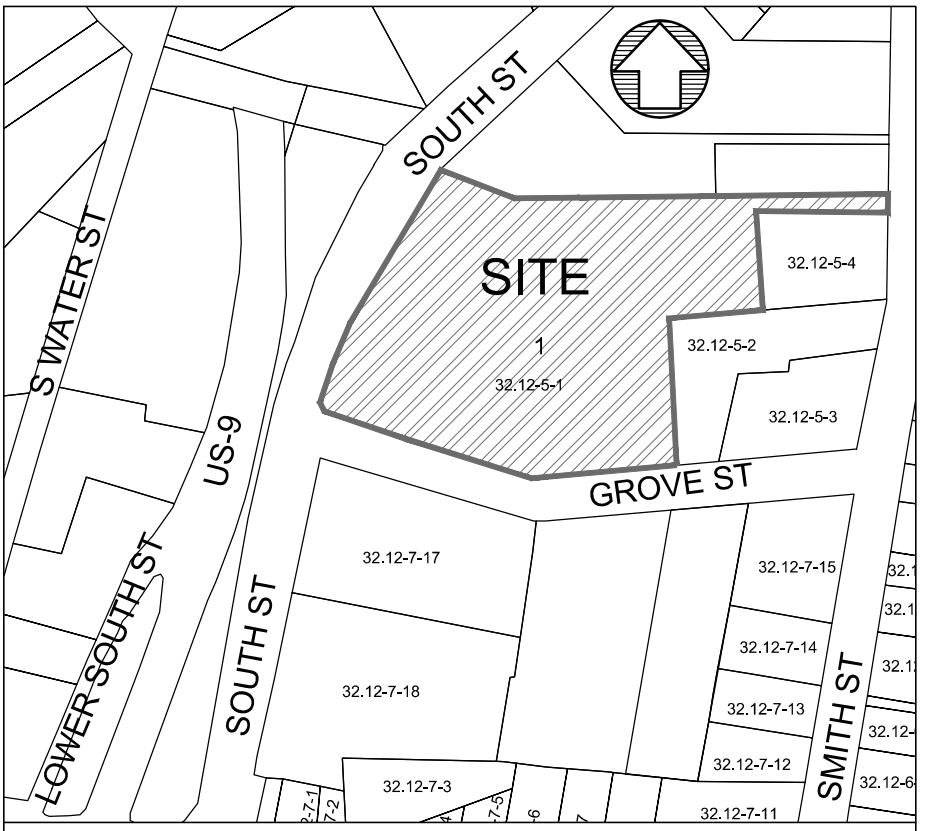
1 New West Elevation  
A2.01 Scale: 1/8" = 1'-0"



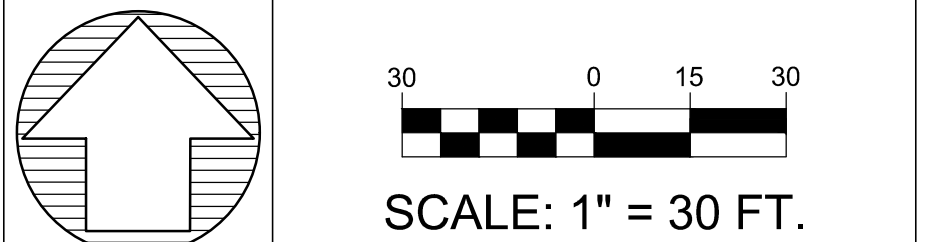
SITE PLAN  
SCALE: 1" = 30'

LEGEND

— = 30' on South Street - 50' on Grove Street



VICINITY MAP SCALE: 1" = 200'



LANDSCAPE ARCHITECT  
BLADES & GOVEN LANDSCAPE ARCHITECTS  
C/O EARL J. GOVEN, ASLA  
PO BOX 1581  
FAIRFIELD, CONNECTICUT 06825  
SURVEYOR  
BADEY AND WATSON  
SURVEYING AND ENGINEERING, P.C.  
C/O GLENNON J. WATSON, LC  
3063 ROUTE 9  
COLD SPRING, NEW YORK 10516  
OWNER/APPLICANT  
RIVER VIEW PLACE ASSOCIATES OF  
PEEKSKILL, LLC  
111 BROOK STREET, 2ND FLOOR  
SCARSDALE, NEW YORK 10583

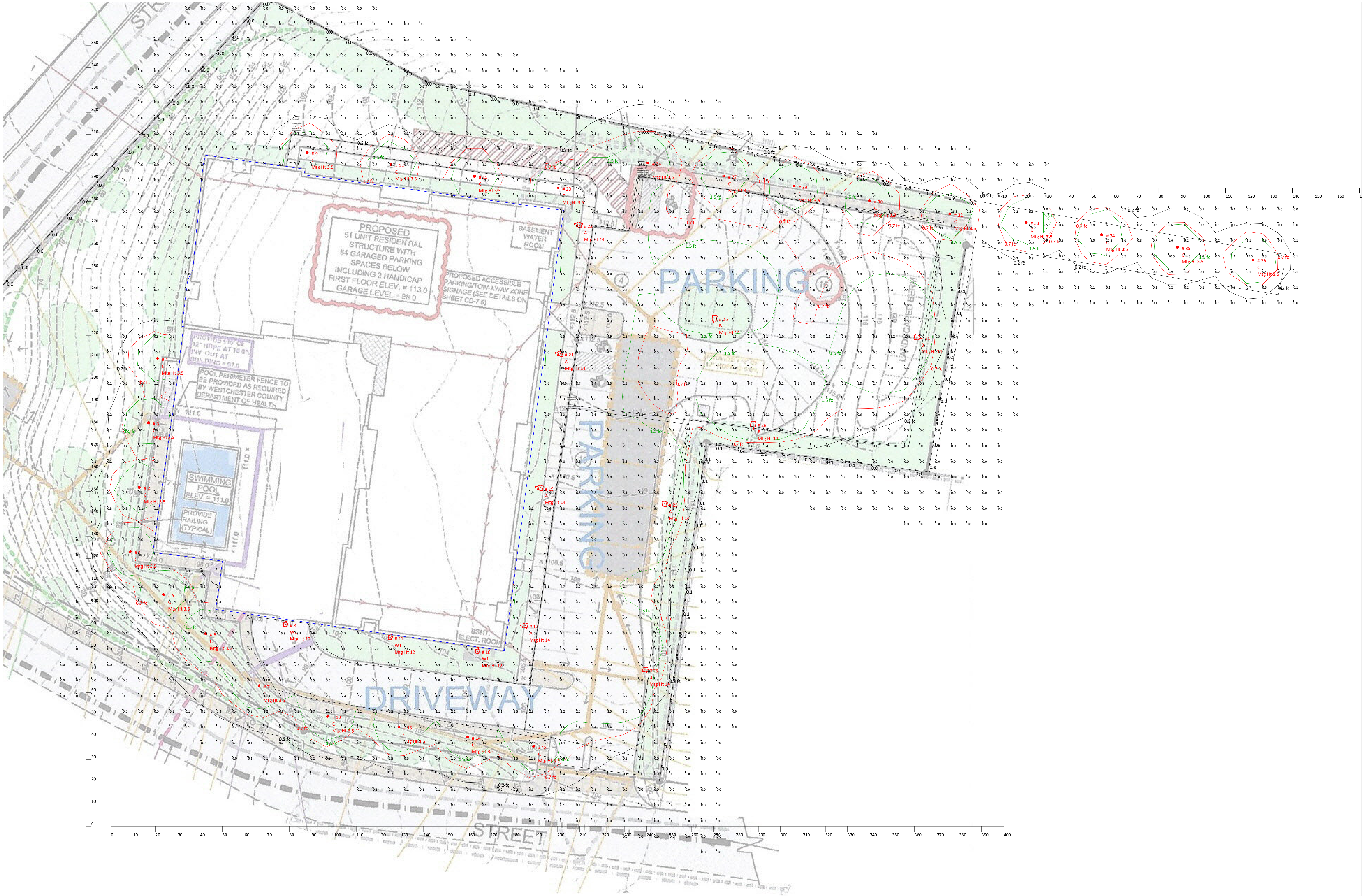
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REVISIONS		
#	REASON	DATE
4	WATER / SEWER SUPERINTENDENT COMMENTS	APRIL 20, 2022
3	COP RESOLUTION AND TECTONIC ENGINEERING COMMENTS	MARCH 17, 2022
2	COP RESOLUTION AND TECTONIC ENGINEERING COMMENTS	OCTOBER 19, 2020
1	CITY OF PEEKSKILL AND TECTONIC ENGINEERING COMMENTS	JUNE 19, 2020
PEEKSKILL TAX IDENTIFICATION		
SECTION:	32.12	
BLOCK:	05	
LOT:	01	
DESIGN BY:	KCS/TC3	
DRAWN BY:	KAA	
CHECKED:	KCS/TC3	
PROJECT:	505 SOUTH STREET	
DATE:	JANUARY 20, 2020	
JOB #:	160101	
		TIMOTHY L. CRONIN III, P.E. LICENSE #062980

**CRONIN**  
ENGINEERING  
PROFESSIONAL ENGINEERING & CONSULTING  
(914) 736-3664

39 Arlo Lane  
Cortlandt Manor, New York 10567





CIVIL SITE PLAN  
SITE DEVELOPMENT PLAN  
FOR  
RIVER VIEW PLACE  
505 SOUTH STREET  
LOCATION:  
GROVE STREET + SOUTH STREET  
CITY OF PEEKSKILL, NEW YORK  
SHEET 3 OF 12 CSP-3.1

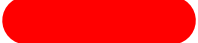









Scale: 1 inch= 20 Ft.

#	Date	Comments
3	08/28/2025	
Revisions		

Drawn By: Patrick Carbone
Checked By:
Date: 8/28/2025
Scale: As Noted

Luminaire Schedule								
Tag	Symbol	Qty	Label	Description	Lum. Lumens	LLF	Lum. Watts	Total Watts
A		5	ALEDM3TY + ALEDMHS	Direct drill, with shields, 3000K, set to 90W	17964	0.600	145.9	729.5
B		4	ALEDM4T + ALEDMHS	Direct drill, with shields, 3000K, set to 90W	17956	0.600	150.3	601.2
C		24	B17D 19W 3000K	Ground mounted	2811	1.000	17.9321	430.37
W1		3	ALEDS3TWMY	Wall mounted, Type III optic, 3000K, set to 150W	10458	1.000	81.2	243.6

Fixture Color Legend	
	Standard
	Emergency
	LightCloud Controls
	LightCloud Emergency
	Non-LightCloud Controls

Isoline Legend Illuminance (Fc)	
Color	Value
	0.2
	0.7
	1.5

Luminaire Tag Summary	
Tag	Qty
A	5
B	4
C	24
W1	3

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	2.05	28.5	0.0	N.A.	N.A.
Dog Run	Illuminance	Fc	1.37	27.3	0.0	N.A.	N.A.
Est Property Line	Illuminance	Fc	0.29	1.9	0.0	N.A.	N.A.
Est Property Line_1	Illuminance	Fc	0.08	0.2	0.0	N.A.	N.A.
Est Property Line_2	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Park North	Illuminance	Fc	2.63	11.6	0.0	N.A.	N.A.
Park South	Illuminance	Fc	4.32	12.2	0.4	10.80	30.50
Path North	Illuminance	Fc	4.15	24.7	0.2	20.75	123.50
Pavement	Illuminance	Fc	3.41	18.9	0.0	N.A.	N.A.



Revisions	
#	Comments
3	08/28/2025

Drawn By: Patrick Carbone	
Checked By:	
Date: 8/28/2025	
Scale: As Noted	

East Point River View

505 South

Luminaire Location Summary			
Lum No	Label	MH	Tilt
1	B17D 19W 4000K	3.5	0
2	B17D 19W 4000K	3.5	0
3	B17D 19W 4000K	3.5	0
4	B17D 19W 4000K	3.5	0
5	B17D 19W 4000K	3.5	0
6	B17D 19W 4000K	3.5	0
7	B17D 19W 4000K	3.5	0
8	ALED3TWMY	12	0
9	B17D 19W 4000K	3.5	0
10	B17D 19W 4000K	3.5	0
11	ALED3TWMY	12	0
12	B17D 19W 4000K	3.5	0
13	B17D 19W 4000K	3.5	0
14	B17D 19W 4000K	3.5	0
15	B17D 19W 4000K	3.5	0
16	ALED3TWMY	12	0
17	ALEDM3TY + ALEDMHS	14	0
18	B17D 19W 4000K	3.5	0
19	ALEDM3TY + ALEDMHS	14	0
20	B17D 19W 4000K	3.5	0
21	ALEDM3TY + ALEDMHS	14	0
22	ALEDM3TY + ALEDMHS	14	0
23	ALEDM4T + ALEDMHS	14	0
24	B17D 19W 4000K	3.5	0
25	ALEDM3TY + ALEDMHS	14	0
26	ALEDM4T + ALEDMHS	14	0
27	B17D 19W 4000K	3.5	0
28	ALEDM4T + ALEDMHS	14	0
29	B17D 19W 4000K	3.5	0
30	B17D 19W 4000K	3.5	0
31	ALEDM4T + ALEDMHS	14	0
32	B17D 19W 4000K	3.5	0
33	B17D 19W 4000K	3.5	0
34	B17D 19W 4000K	3.5	0
35	B17D 19W 4000K	3.5	0
36	B17D 19W 4000K	3.5	0

DAMIN SALES

Electrical Manufacturers Representatives

Drawn By: Patrick Carbone	#	Date	Comments
Checked By:			
Date: 8/28/2025			
Scale: As Noted			

Revisions

East Point River View

505 South

Page 4 of 4

LEGEND

- CATCH BASIN  
 DRAIN INLET  
 UTILITY POLE  
 SIGN POST  
 HYDRANT  
 WATER VALVE  
 GAS VALVE  
 LIGHT POLE  
 TRAFFIC POLE  
 TELE. MANHOLE  
 ELECTRIC BOX  
 SEWER MANHOLE  
 WATER MANHOLE  
 ELECTRIC MANHOLE  
 DRAIN MANHOLE  
 MANHOLE  
 MONITORING WELL  
 VALVE  
 14 TREE  
SIZE  
+242.5 EXIST. ELEV.  
+(242.5) PROP'D ELEV.  
 14 TREE  
(TO BE REMOVED)



GABRIEL E. SENOR, P.C.  
Engineer & Surveyor  
90 NORTH CENTRAL AVE, HARTSDALE, NEW YORK 10530  
(914) 422-0070

JOB NUMBER: PK32.12-5-1

Possession only where indicated

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for New York State Association of Land Surveyors. This Survey is a representation of the property as surveyed on March 1, 2024, the date that the field work was performed. Subsequent revision dates do not constitute an updated survey.

Eliot Senor, L.S. New York State Lic. No. 049822

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Certifications indicated are limited only to the entity for which this survey was prepared and on its behalf to the title company, governmental agency and lending institution for the policy numbers listed hereon. These certifications are not transferable.

A Title report lists easements and restrictions that are recorded in the County Clerk's office, if the report was not provided these easements and or restrictions may not be shown. A copy of the title report was not provided. A copy of the deed was provided. There may also be Easements and Restrictions that are not recorded. Survey may be subject to easements not shown.

Surface elevations and underground appurtenances, if any, whether or not shown are not certified. This survey shows straight lines between located points for fences or other possession along property line. This also applies to connections between located surface appurtenances of underground items. These connections or possession lines generally do not follow a straight line and therefore are schematic only. Any dimensions shown are to the surveyed point only. Labeled dimensions cannot be used for any other point along the line.

Unauthorized alteration or additions to the survey map is a violation of Section 7209 sub-section 2 of the New York State Education Law

Certified to: River View Place Associates of Peekskill LLC, Tompkins Community Bank, its successors and/or assigns as pertains to Title No. W 21 21219 only, First American Title Insurance Company & Madison Abstract for Title No. W 21 21219 only.

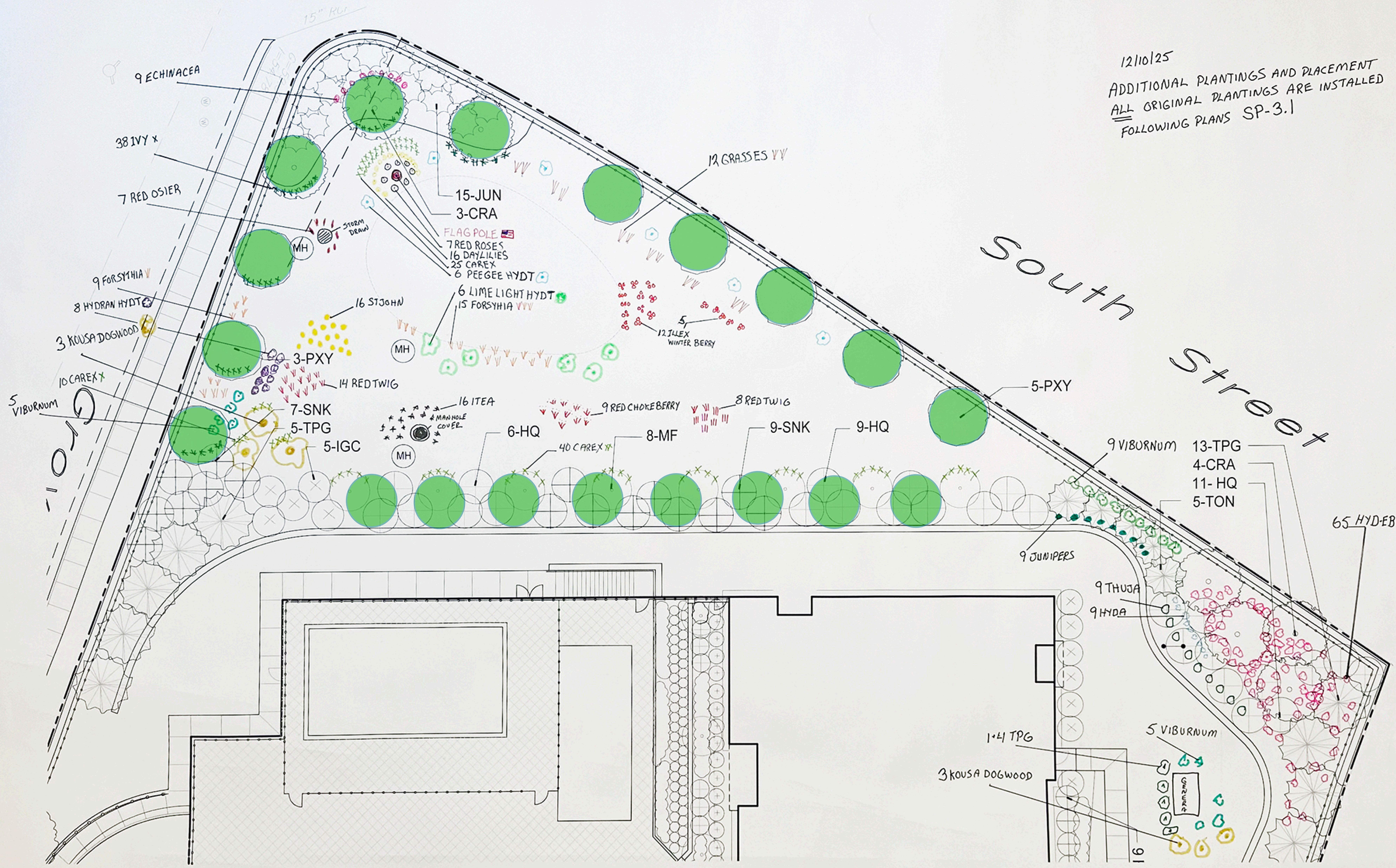
AS-BUILT FOUNDATION SURVEY OF  
TAX LOT No.1  
ALSO KNOWN AS  
505 SOUTH STREET  
LOCATED IN THE  
CITY OF PEEKSKILL  
WESTCHESTER COUNTY, NEW YORK

GABRIEL E. SENOR, P.C.  
CONSULTING ENGINEER LAND SURVEYORS  
90 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530  
(914) 422-0070 FAX 422-3009

SCALE: 1" = 40'

DATE: MARCH 18, 2024

DRAWN BY: EJC. CHECKED BY: ES.



12/10/25  
ADDITIONAL PLANTINGS AND PLACEMENT  
ALL ORIGINAL PLANTINGS ARE INSTALLED  
FOLLOWING PLANS SP-3.1

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
CRA	7	CRATAEGUS PHYNOPYRUM	WASHINGTON HAWTHORN	7-8 FT HT	B&B
MF	8	MALUS FLORIBUNDA 'CARDINALIS'	CARDINAL CRAB APPLE	7-8 FT HT	B&B
PXY	8	PRUNUS YEODENSIS	YOSHINO CERRY	7-8 FT HT	B&B
TPG	18	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	7-8 FT HT	B&B
TON	5	THUJA OCCIDENTALIS NIGRA	DARK AMERICAN ARBORVITAE	6-7 FT HT	B&B
HQ	15	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	24-30" HT	CAN
IGC	5	ILEX GLABRA SHAMROCK	SHAMROCK INKBERRY	24-30" HT	CAN
JUN	8	JUNIPERUS HORIZONTALIS 'WILTONII'	CREEPINGE JUNIPER	18-24" SPR	CAN
SNK	16	SALIX INTEGR 'HAKURO-NISHIKI'	DAPPLED WILLOW	18-24" HT	CAN

GENERAL NOTES

1. SURVEY DATA TAKEN FROM PLAN ENTITLED DRAINAGE LOCATION ASSESSORS MAP 71, BLOCK 109, LOTS 08, 09-1, 09-2, 09-3 & 7, 15, 17, 19-21, HAWLEYVILLE ROAD & 36 STONY HILL ROAD, BETHEL CT PREPARED FOR HUNTER GREGORY REALTY CORP BY THE HUNTINGTON COMPANY 140 SHERMAN STREET, FAIRFIELD CT
2. VERIFY LOCATION AND LAYOUT OF ALL RETAINING WALLS AND UNDERGROUND UTILITIES
3. IRRIGATION TO BE PROVIDED
4. ALL PLANT MATERIAL STOCK TO MEET AMERICAN STANDARD FOR NURSERY STOCK

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PREPARED BY:  
**Blades & Goven**  
LANDSCAPE ARCHITECTS  
POST OFFICE BOX 1581  
FAIRFIELD, CT 06425  
PHONE: 203-254-8330  
www.bladesandgoven.com

REVISIONS:

NO	DATE	REVISION	BY
1	2-10-20	ZBA SUBMITTAL	BO
2	6-19-20	CITY COMMENTS	BO

PROJECT NAME:  
**EASTPOINT ON THE HUDSON**  
505 SOUTH STREET  
PEEKSKILL, NY

PREPARED FOR:  
**505 SOUTH STREET**  
LIST OF ALL  
ADDITIONAL  
PLANTINGS AND  
SIZE ON SEPARATE  
EMAIL

PROFESSIONAL SEAL

DATE: 1-24-2020  
SCALE: 1"=20'  
DRAWN BY: RS  
CHECKED BY: EG

DRAWING TITLE:  
**PARTIAL  
LANDSCAPE  
PLAN**

SHEET NO:  
**SP-3.1**