

## **DEPARTMENT OF PLANNING AND DEVELOPMENT**

### **STAFF REPORT**

TO: Planning Commission – January 13, 2026

FROM: Jean Friedman, AICP, Consulting Planner

APPL: Joseph G. Thompson Architect PLLC  
108 North Division Street, Ste 100  
Peekskill, New York 10566

P26-001

Owner: Riverview Associates of Peekskill, Inc.  
111 Brook Street, # 1  
Scarsdale, New York 10583

RE: **Public Hearing** by the **Planning Commission** regarding an **Amended Site Plan Review** pursuant to the original Site Plan Approval and Sections 575-27 A (1), 575-25 A (2), 575-56 B (2) and (4), and 575-56 C of the City of Peekskill Zoning Ordinance, to revise the previously approved façade colors, and to convert two general storage rooms on the second and third floors of a 51-unit condominium complex into two 895 sq. ft. one-bedroom apartments, increasing the total number of units to 53. The property is located in the R-6, Central Multiple Residence District.

Location: **505 South Street**

Section-Block-Lot: 32.12-5-1 (Peekskill Tax Map)

Zoning District: R-6, Central Multiple Residence

### **PUBLIC REVIEW SUMMARY**

Governing Body	Date	Action/Discussion
Planning Commission	January 13, 2026	Amended Site Plan consideration

### **UPDATE**

On July 14, 2020 this new 51 unit (46 two-bedroom and 5 one-bedroom) residential development received site plan approval. The building and site work have been substantially constructed, but has not received a Certificate of Occupancy.

On August 15, 2022 it received a minor modification:

- to construct an 8' to 9' high retaining wall in front of the building
- to add landscaping to mitigate views of the wall
- and other minor improvements.

On November 18, 2025 a second minor modification was issued:

- to convert a ground floor storage space into a new clubhouse space, including new windows and a door facing South Street

- to add a new dog walk between the parking area and Smith Street along the north property line (walkway).
- to remove the entrance gate at Smith Street.
- to erect a 6' high solid white vinyl fence around the east and north sides of the property, with lighting details for the site.

The applicant is now requesting an amended site plan approval to convert two general storage rooms on the second and third floors into two 895 sq. ft. one-bedroom apartments. An amendment is also needed to revise the approved façade colors; the colors of the installed siding have not been approved.

The applicant has been asked to revise the attached narrative dated September 29, 2025 so that it accurately reflects the information above.

## **BACKGROUND & SITE PLAN REVIEW**

The plans and images for the retaining wall, landscaping, clubhouse, dog walk, entrance gate, fence and lighting are included for the Planning Commission's information only. These changes have already received minor modification approval, and some have been substantially constructed.

The proposed amendment includes conversion of two approved general storage areas into two new 895 sq. ft. one-bedroom apartments at the rear of the building on the second and third floors (see sheet A3.04, units #214 and #314). This will increase the total unit count from 51 units to 53 units. When asked about storage space within the existing units, the applicant responded that typical units have 50 sq. ft. to 100+ sq. ft. of closet area, with most units equipped with coat closets, linen closets and multiple bedroom closets including 30-42 sq. ft. walk-in closets. The applicant has been asked to provide the square footage of general storage area to be removed, and the square footage and location of a possible new general storage area in the basement.

Two new units require four (4) parking spaces by Code. The plan for 51 units was approved with 116 parking spaces (indoor and outdoor) where 115 spaces were required. The approved spaces include 18 land-banked spaces (one more than is required by code) that could be constructed on-site in the future if needed. Since one additional space was originally approved, two new units require 3 new spaces. These are proposed as land-banked spaces in a grassy area near the east property line (see sheet SP-4). If the new units are approved, 98 actual spaces will be provided for 53 units (46 two-bedroom and 7 one-bedroom), and 21 spaces will be land-banked.

The applicant has been asked to provide the façade colors that were approved in 2020 and those that are currently on the structure. The applicant will address this change at the meeting.

**Approved colors:**



**Proposed and existing colors:**



**STAFF RECOMMENDATION**

This is a Type II action under SEQRA and no further SEQR review or determination is necessary.

Staff recommends that the Planning Commission grant approval of the amended site plan pursuant to the original Site Plan Approval, and Sections 575-27 A (1), 575-25 A (2), 575-56 B (2) and (4), and 575-56 C of the City of Peekskill Zoning Ordinance, to change the previously approved façade colors, and to convert two general storage rooms on the second and third floors of a 51-unit condominium complex into two 895 sq. ft. one-bedroom apartments, increasing the total number of units to 53. Approval of this amendment expires on **July 13, 2026**, subject to the following conditions:

*Conditions to be met before signing of the site plan:*

1. Submission of six (6) sets of the approved site plan, for signature by the Planning Commission Chairman, with final condition notes added or changes to the plans as needed.

2. A note shall be added to the final site plan that "Final construction plans shall provide adequate and appropriate interior soundproofing for individual units to address railroad noise."
3. All trash placed at the curb shall be in approved containers satisfactory to the City of Peekskill.
4. Resolution of all remaining engineering matters to the satisfaction of the City.
5. Provision of performance requirements (cash or irrevocable letter of credit) as deemed necessary and in an amount determined by the Director of Planning. Any performance instrument must be acceptable to the City Corporation Counsel as to form, manner of execution and surety.
6. Payment of all outstanding application fees and escrow balances.
7. Continuation of escrow fees during the duration of the project to cover consulting costs for engineering and planning. Such fees shall be held in escrow, and any amounts not used shall be returned to the Applicant.
8. Any changes between the plan reviewed at the hearing and the final submitted site plan, other than those described in the conditions of approval, may be approved by the City Engineer for engineering matters and the Director of Planning as minor modifications provided that such changes meet the criteria outlined in Section 575-56 C of the zoning ordinance. Otherwise, the applicant must return to the Planning Commission to obtain approval of the amendment(s).

*To be completed prior to issuance of a Building Permit:*

1. Payment of a Parkland and Recreation Fee of \$5,665 for each new dwelling unit to the City of Peekskill.  $\$5,665 \times 2 = \$11,330$ .

*Conditions to be met before issuance of a Final Certificate of Occupancy:*

1. Completion of the work as shown in the approved plans.
2. Payment of all water / sewer tapping / connection fees, if applicable.
3. Final landscaping type, size (caliper and height) and location shall be satisfactory to the Director of Planning and shall be maintained in a vigorous, healthy condition.

*Conditions to be met at all times:*

1. Compliance with plans and conditions from the July 14, 2020 site plan approval and from the August 15, 2022 and November 18, 2025 minor modification approvals, except as revised by this amended site plan approval.
2. Vehicles are prohibited from parking on or blocking the City sidewalk.
3. Adherence to City of Peekskill Noise Code requirements.
4. Construction will be limited to Monday to Friday, except holidays from 8:00 AM to 8:00 PM, and Saturdays from 9:00 AM to 5:00 PM. No activities will be permitted on Sundays or City holidays.

#### **DRAWING(S) REVIEWED IN PREPARATION OF STAFF REPORT**

1. Narrative dated September 29, 2025 from Joseph Thompson Architect

2. Drawing SP-4 Parking and Signage Plan, with revised parking calculations and proposed land-banked parking spaces.
3. Sheet A3.04 showing proposed Units #214 and #314.
4. Color rendering of approved façade colors
5. Current photograph showing proposed colors.
6. Drawing CSP-3.1, Site Development Plan revised June 19, 2020 by Cronin Engineering.



JOSEPH THOMPSON  
A R C H I T E C T

108 N DIVISION STREET, SUITE 100, PEEKSKILL, NEW YORK 10566

To: **City of Peekskill Planning Commission**  
City Hall  
840 Main Street  
Peekskill, New York 10566

Attn: **Chair Stern & Planning Commission Members**

Date: September 29, 2025

RE: **EAST POINT ON HUDSON- PROJECT NARRATIVE**  
505 South Street, Peekskill, New York 10566  
S-B-L: 32.12-5-1

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Our office is pleased to represent Riverview Associates of Peekskill, Inc. to propose modifications to the project currently under construction at the property at 505 South Street. This new luxury residential apartment development that is planned to be completed this Winter offers graciously sized apartment units, ample amenities and spectacular views of the Hudson River.



**Figure 1. Photograph of current construction of East Façade taken on September 17, 2025.**

**Summary of modifications proposed:**

- Increase unit count from 51 units (46 Two-Bedroom/ 5 One-Bedroom) to 53 units (46 Two-Bedroom/ 7 One-Bedroom):
  - Two 895 SF storage rooms, one on the second and one on the third floor, are proposed to be built-out as one-bedroom apartment units.
  - Provide increase in land banked parking from 18 Land Banked Spaces to 21 Land Banked Spaces.
- New Clubhouse amenity space. An area originally planned for storage units is proposed to be converted into a new Clubhouse amenity space.
- New Dog Walk. Provide Dog Walk area in the section of property connecting the outdoor Parking area to Spring Street.
- Siding Color: Change of color to light gray (See Figure 1 above)
- Entrance Gates: Remove prior proposed entrance gates.

**Additional Documents provided as per request of the Planning Department:**

- Photometric Plans required as a condition of approval:
  - General Parking Lot Lighting that includes a combination of pole type fixtures and building mounted fixtures.
  - New bollard lighting along walking paths.
- As-Built Survey of Retaining Walls (See attached and Figure 2 below)

**Figure 2. Photograph of current site construction & retaining walls taken September 17, 2025.**



**Figure 3. Photograph of existing basement space proposed to convert to new Clubhouse taken on September 17, 2025.**



**Figure 4. Photograph of the view from patio area immediately outside proposed new clubhouse taken on September 17, 2025.**



**Figure 5. Photograph of West Façade, Outdoor Courtyard and Pool Construction taken on September 17, 2025**



**Figure 6. Photograph of Outdoor Courtyard and Pool Area Construction taken on September 17, 2025**

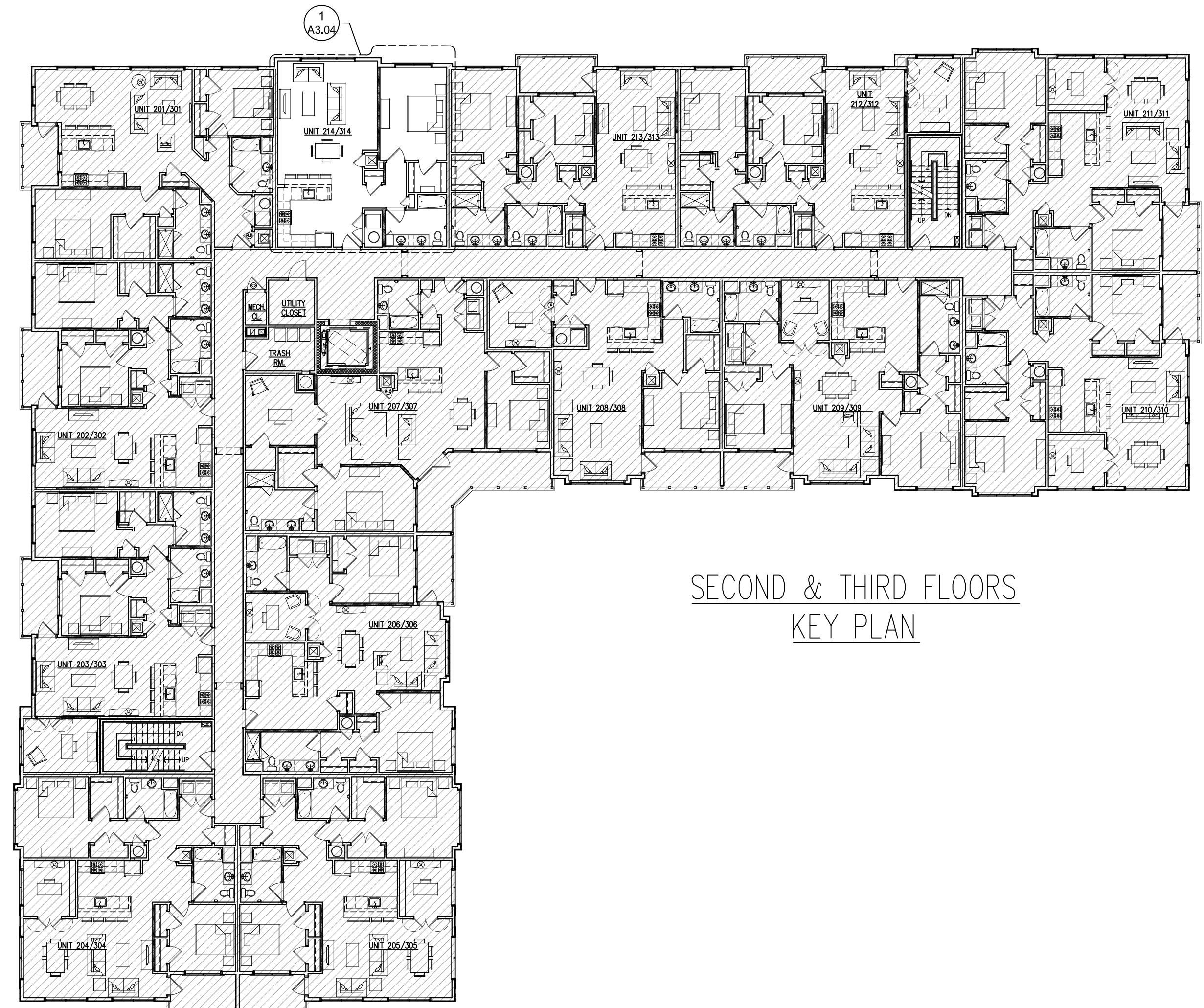
The changes outlined above are proposed in the interest of improving building amenities and to provide additional housing opportunity within the building as constructed. We look forward to further reviewing this application with the Board. Please contact me should you have any questions or should any further information be required.

Respectfully Submitted,

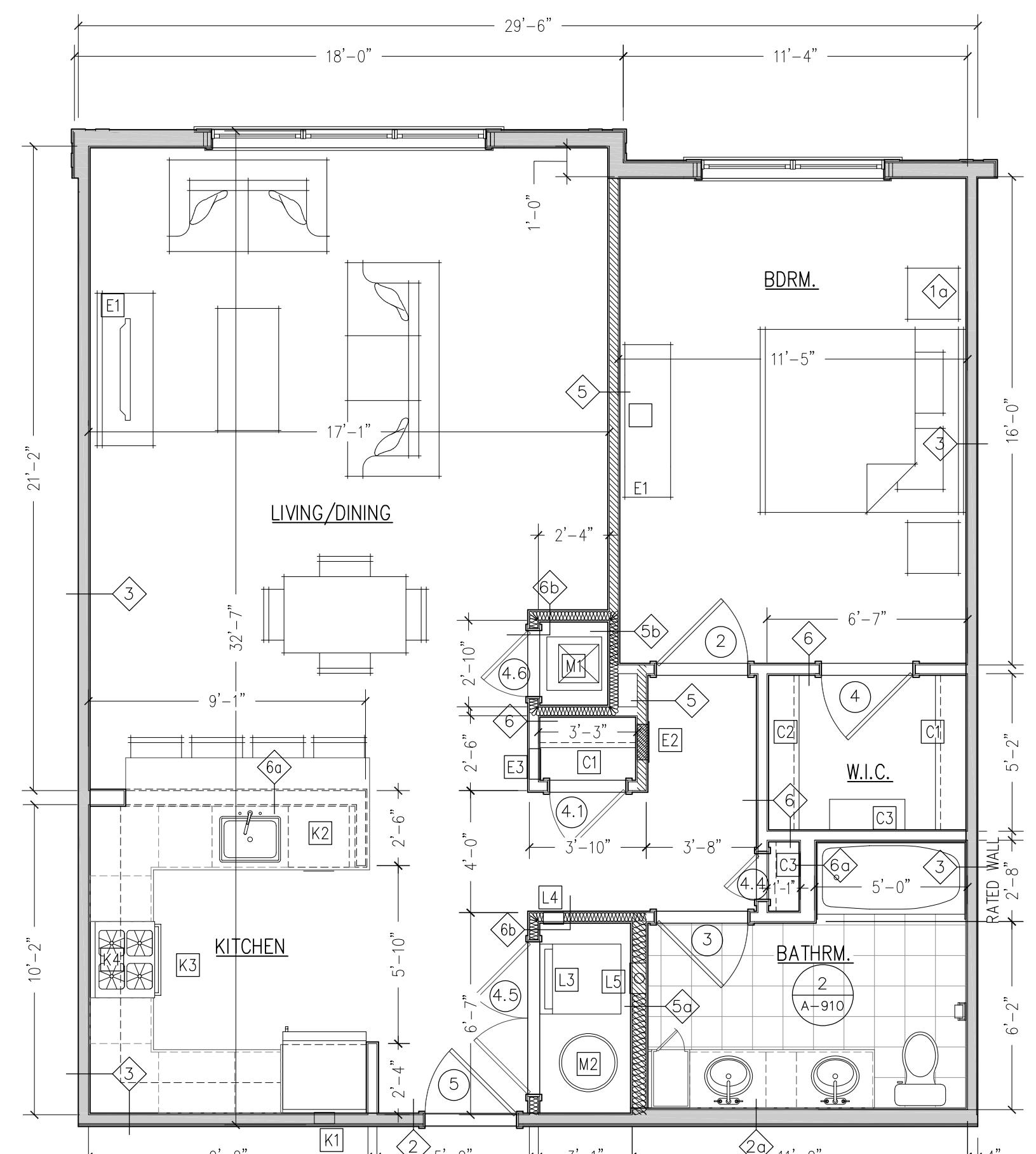
Joseph G. Thompson, RA, M. Arch, NCARB, LEED AP, CSBA, CDT  
NYS Registered Architect

Attachments:

1. Proposed New Apartment Unit #214/#314 Plan dated December 13, 2024 (1 Sheet)
2. Proposed New Clubhouse Drawings dated September 15, 2025 (3 Sheets)
3. Proposed New Land Banked Parking Site Diagram dated July 15, 2025 (1 Sheet)
4. Fence Site Diagram dated September 9, 2025 (1 Sheet).
5. Exterior Lighting & Photometric Plans prepared dated August 28, 2025 (4 Sheets)
6. Retaining Wall As-Built Survey dated March 18, 2024 (1 Sheet)



SECOND & THIRD FLOORS  
KEY PLAN



1 UNIT 214/314 FLOOR PLAN (895 SF)

SCALE: 1/4"=1'-0"

NOTE:

— REFERENCES TO DOOR & WINDOW SCHEDULE, WALL TYPE DETAILS, BATHROOM AND KITCHEN INTERIOR ELEVATIONS SHALL BE PER CONSTRUCTION DOCUMENT PREPARED BY ARCHITECT OF RECORD (THE SULLIVAN ARCHITECTURAL GROUP) DATED JULY 21, 2022.

UNIT KEYNOTES	
<b>ELECTRICAL</b>	
E1	TELE. / DATA BOX 48" A.F.F.
E2	ELECTRIC PANEL - SEE ELECT. DWGS
E3	CABLE / DATA - SEE ELECT. DWGS
<b>MECHANICAL</b>	
M1	AIR HANDLING UNIT - SEE MECH. DWGS
M2	HOT WATER HEATER / BOILER - SEE MECH. DWGS
M3	BATHROOM EXHAUST VENT
<b>KITCHEN</b>	
K1	** REFRIGERATOR WATER LINE (RATED BOX AT RATED WALLS)
K2	DISHWASHER
K3	ELEC. RANGE / OVEN (MUST BE FLUSH W/ COUNTER-TOP TO PROVIDE RECD REACH RANGE CLEARANCE FOR KITCHEN OUTLETS)
K4	MICROWAVE / HOOD
<b>LAUNDRY</b>	
L1	WASHER
L2	DRYER (PROVIDE 100 SQ. IN. OF OPEN AIR EITHER BY LOUVERED DOOR OR TRANSFER GRILL)
L3	STACKED WASHER-DRYER
L4	** WASHER CONNECTION BOX (MEETS ACCESSIBILITY REQUIREMENTS)
L5	** DRYER EXHAUST (MUST BE IN SHEET MTL. @ RATED WALLS)
** INDICATES SHALL BE RATED WHEN IN RATED ASSEMBLY.	
<b>CLOSET SHELVING (SEE A-515)</b>	
C1	SINGLE ROD-12" WIDE SHELF @ 70"
C2	DBL ROD-12" WIDE SHELVES @ 42" & 84"
C3	LINEN OR PANTRY- (5) 16" WIDE SHELVES SPACED @ 14" W/ HIGHEST SHELF @ 70"
C4	AUDRY CLOSET-(2) 16" WIDE SHELVES @ 56" & 70"

Joseph G. Thompson Architect, PLLC  
108 N Division Street, Suite 100  
Peekskill, New York 10566  
PH: (845) 532-8156  
EM: joe@thompsonarch.com

NOTES:  
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING AS A LICENSED ARCHITECT OR ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ARCHITECT OR ENGINEER IS REQUIRED TO STAMP THE ITEM THE SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF THE ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.  
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PLLC. ALL RIGHTS RESERVED.



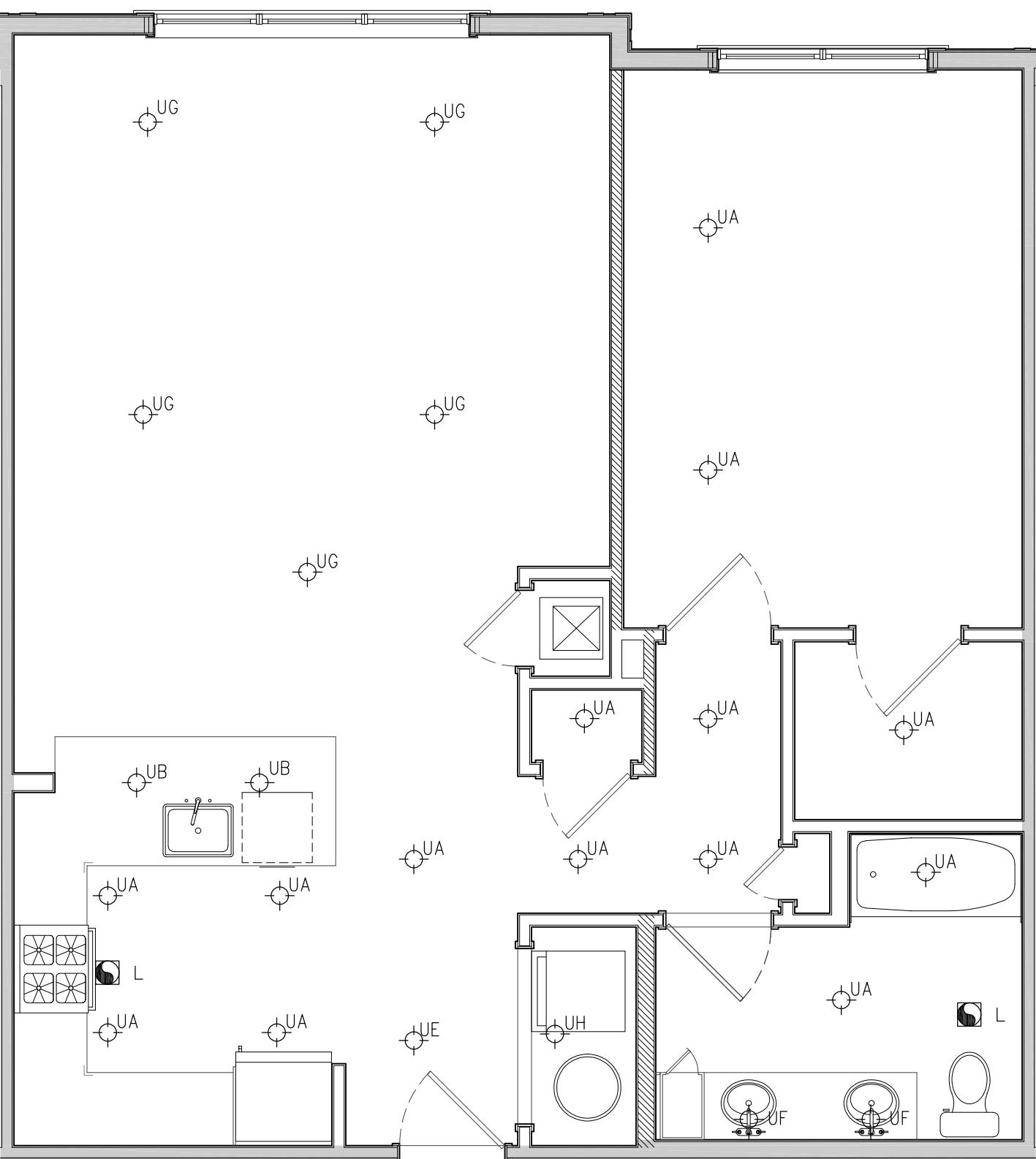
SEAL  
Joseph G. Thompson, RA  
New York State License #036057

WALL ASSEMBLIES	
19	EXT. 2x6 WALL W/ CEMENTITIOUS SIDING
16	EXT. 2x6 WALL W/ STONE VENEER
15	EXT. CONC. WALL W/ 3-5/8" STL. STD. & RIGID INSUL.
13	EXT. CONC. WALL W/ STONE VENEER
2	2x4 CORRIDOR WALL - 1 HR
29	2x6 CORRIDOR WALL - 1 HR
3	2x4 UNIT SEPARATION - 1 HR
30	2x6 UNIT SEPARATION - 1 HR
4	2x4 UNIT TO ELEVATOR WALL W/ 8" BLK. - 2 HR
5	INTERIOR 2x4 BEARING WALL - 1 HR
50	INTERIOR 2x6 BEARING - 1 HR
51	INTERIOR 2x4 BEARING W/ SOUND INSUL. - 1 HR
52	INTERIOR 2x6 BEARING W/ SOUND INSUL. - 1 HR
6	INTERIOR 2x4 NON-BEARING WALL
60	INTERIOR 2x6 NON-BEARING
61	INTERIOR 2x4 NON-BEARING W/ SOUND INSUL.
62	INTERIOR 2x6 NON-BEARING W/ SOUND INSUL.
7	SHAFT WALL - 2 HR.
8	STAIRWELL WALL - 2 HR.
80	STAIRWELL WALL ADJACENT TO UNIT - 2 HR.

UNIT NOTES	
1.	ALL FLOOR PLAN DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
2.	DOOR LOCATIONS NOT DIMENSIONED ARE 4" FROM CORNER OR TO MIDPOINT OF WALL SEGMENT, TYPICAL.
3.	SEE FINISH SCHEDULE FOR COMPLETE INFORMATION AS TO FLOOR & WALL FINISHES.
4.	ALL INTERIOR WALL STUDS ARE 3-5/8" STL. STUDS, UNLESS NOTED OTHERWISE.
5.	EXT. WALL FINISH TO VARY DEPENDING ON LOCATION. SEE OVERALL BLDG. PLANS & ELEVATIONS.
6.	ALL MEP ROUGHS IN RATED WALL ASSEMBLIES SHALL BE RATED FOR THE ASSEMBLY OR PROTECTED W/ A PUTTY PACK OR EQUAL.
7.	EXT. WALL FINISH TO VARY DEPENDING ON LOCATION. SEE OVERALL BLDG. PLANS & ELEVATIONS.
8.	SEE SHEET A-600 FOR WALL ASSEMBLY INFO.
9.	SEE SHEET A-900 FOR KITCHEN ELEVATIONS.
10.	SEE SHEET A-910 FOR BATHROOM ELEVATIONS.

LOAD BEARING WALLS  
SOUND BATT  
INDICATES REMOVABLE PORTION OF FLOOR. CONTRACTOR TO EXTEND CABINET, ALL SIDE AND REAR SURFACES TO BE FINISHED.

LIGHTING FIXTURE	
U.A	SURFACE MOUNTED LED DOWNLIGHT
U.B	PENDANT LIGHT
U.C	EXTERIOR DECK LIGHT
U.D	INTERIOR SCONCE
U.E	ENTRY FIXTURE
U.F	VANITY LIGHT
U.G	DINING ROOM FIXTURE
U.H	UTILITY LIGHT
L	EXHAUST FAN (W/ 1HR. RATING)



2 UNIT 214/314 RCP

SCALE: 1/4"=1'-0"

EASTPOINT ON HUDSON  
FOR PERMIT AND CONSTRUCTION  
Finkelstein Timberger East Real Estate (Owner)  
505 South Street  
Peekskill, New York 10566  
S-1-32-12-5-1  
City of Peekskill - Westchester County  
Date: December 13, 2024  
Revisions:

A3.04



SEAL  
Joseph G. Thompson, RA  
New York State License #036057  
Expiration: August 31, 2027

HABITABLE SPACE NATURAL LIGHT & VENTILATION		
CLUB ROOM (?? SF+/-)	8% REQ'D (12.16)	ARTIFICIAL LIGHTING PROVIDED
LIGHT: VENT: PROVIDED	4% REQ'D (6.08)	MECHANICAL VENTILATION

TV ROOM (?? SF+/-)		
LIGHT: VENT:	8% REQ'D (22.40)	16.14% PROVIDED (45.20)
VENT:	4% REQ'D (11.20)	15.07% PROVIDED (42.20)

BUILDING CONSTRUCTION COMPLIANCE - CERTIFICATION		
- Title 19 (NYCRR) - Chapter XXXIII - State Fire Prevention and Building Code Counsel - Subchapter A - Uniform Fire Prevention and Building Code		
I do hereby certify that these drawings and specifications have been prepared under my supervision, and that to the best of my knowledge and professional judgment, the design has been made in conformance with all applicable requirements of Title 19 (NYCRR) - Chapter XXXIII, Subchapter A and the following referenced codes of New York State:		
New York State Building Code- 2020 Edition New York State Energy Conservation Construction Code- 2020 Edition		
Signed Joseph G. Thompson, NYS Registered Architect (License # 036057)		

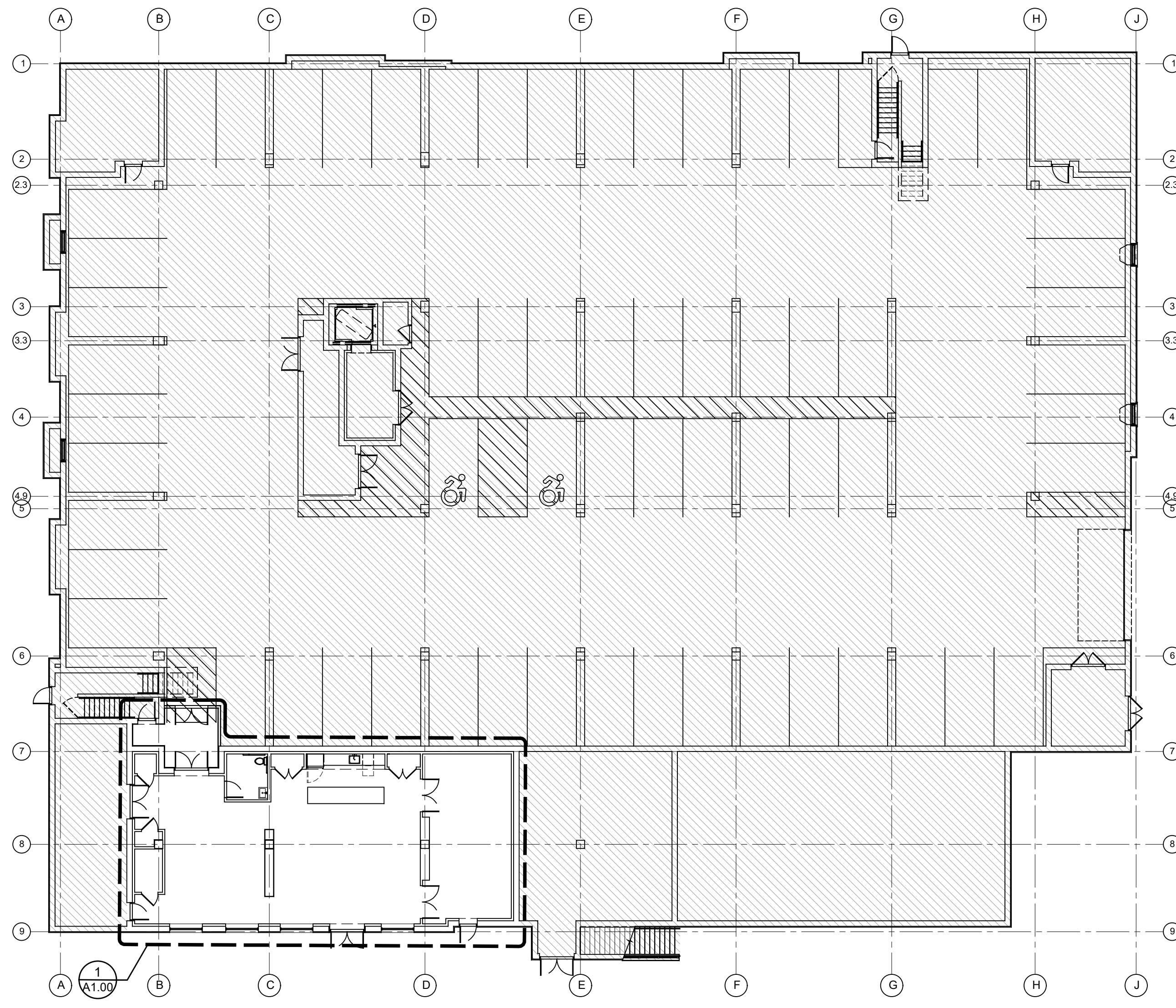
ENERGY CONSERVATION COMPLIANCE - CERTIFICATION		
- Title 19 (NYCRR) - Chapter XXXIII - State Fire Prevention and Building Code Counsel - Subchapter B - State Energy Construction Conservation Code - Part 1240 - Energy Conservation Construction Code		
The proposed envelope system represented in these drawings and specifications has been designed to meet the requirements of Chapter 4 of the New York State Energy Conservation Construction Code - 2020 Edition		
I do hereby certify that these drawings and specifications have been prepared under my supervision, and that to the best of my knowledge and professional judgement, the design has been made in conformance with all applicable requirements of Title 19 (NYCRR) - Chapter XXXIII, Subchapter B - Part 1240		
General Contractor shall be required air seal the building envelope as required meet minimum air leakage test requirements in accordance with ECCNYS 2020 Section C406.9 (Reduced Air Infiltration). Test results shall be submitted to Building Inspector and Architect for review.		
General Contractor shall be required to insulate ductwork and test for air leakage in accordance with ECCNYS 2020 Section C403.11. Certification of the testing results shall be submitted to the Building Inspector for review and approval prior to issuance of a Certificate of Occupancy.		
A COMcheck energy compliance analysis signed and sealed by a NYS Licensed Mechanical Engineer shall be submitted in addition to meeting the prescriptive method insulation requirements as noted on this sheet in accordance with ECCNYS 2020 Table C402.1.3 and shall be submitted to the Building Inspector for approval prior to start of construction.		
Signed Joseph G. Thompson, NYS Registered Architect (License # 036057)		

CITY OF PEEKSKILL, NEW YORK						
Ground Snow Load	Wind Design					Seismic Category
	Wind Speed	Topo Effects	Special Wind Region	Wind-borne Debris Zone		
30	*120	No	Yes	No	C	
Subject to Damage From						
Weathering	Frost Depth	Termite	Ice Shield Underlayment	Flood Hazards	Air Freezing Index	Mean Annual Temp
Severe	42"	Moderate to Heavy	Yes	N/A	1,500 or Less	51.6

\*115 MPH to 120 MPH. The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.

# EAST POINT ON HUDSON

## CITY OF PEEKSKILL - WESTCHESTER COUNTY



ENERGY CODE COMPLIANCE PER ECCNYS 2020 EDITION TABLE C402.1.3											
CRITERIA	CLIMATE ZONE	VENTERATION U-FACTOR	ENTRANCE DOORS U-FACTOR	SKYLIGHT U-FACTOR	SHGC	CEILING R-VALUE	ROOF (ABOVE DECK)	WOOD FRAME WALL	MASS WALL R-VALUE	FLOOR R-VALUE	BELOW GRADE WALL
MIN. REQ'D VALUE	4	0.38 FIXED 0.45 OPER	0.77	0.5	*0.36	38 CAVITY	30 CI (AVG)	20 CAVITY	11.4 CI	30 CAVITY	R-7.5 CI

\*MOST RESTRICTIVE VALUE BASED ON CLIMATE ZONE AND A WINDOW PROJECTION FACTOR OF 0 HAS BEEN UTILIZED.  
NOTE: CLIMATE ZONE 4 ESTABLISHED FOR WESTCHESTER COUNTY.  
NOTE: BUILDING ENVELOPE SHALL BE TESTED IN ACCORDANCE WITH ASTM E779 AT A PRESSURE DIFFERENTIAL OF 0.3 INCH WATER GUAGE (75 Pa) AND SHALL NOT HAVE A LEAKAGE RATE GREATER THAN 0.4 CFM/SF

### PROJECT DESCRIPTION

NEW COMMUNITY ROOM IN MULTI-FAMILY BUILDING.

### DRAWING INDEX

#### GENERAL:

G0.00 TITLE SHEET / KEY PLAN  
G0.01 GENERAL NOTES

#### LIFE SAFETY:

LS1.00 NEW CLUB ROOM EGRESS PLAN

STRUCTURAL: (BY MJ ENGINNERING & DESIGN)

SK-1 PROPOSED NEW WINDOW OPENING AT WEST ELEVATION

#### FRAMING:

FR1.00 NEW CLUB ROOM FRAMING PLAN & WALL TYPES

#### ARCHITECTURAL:

A1.00 NEW CLUB ROOM ARCHITECTURAL PLAN

A2.01 NEW WEST ELEVATION

A3.01 BUILDING SECTION AT NEW CLUB ROOM

A4.01 KITCHENETTE & ADA RESTROOM ENLARGED PLAN & INTERIOR ELEVATIONS

A4.02 ADA RESTROOM GUIDELINES, PLAN AND ELEVATIONS

A6.01 WINDOW SCHEDULE AND DETAILS

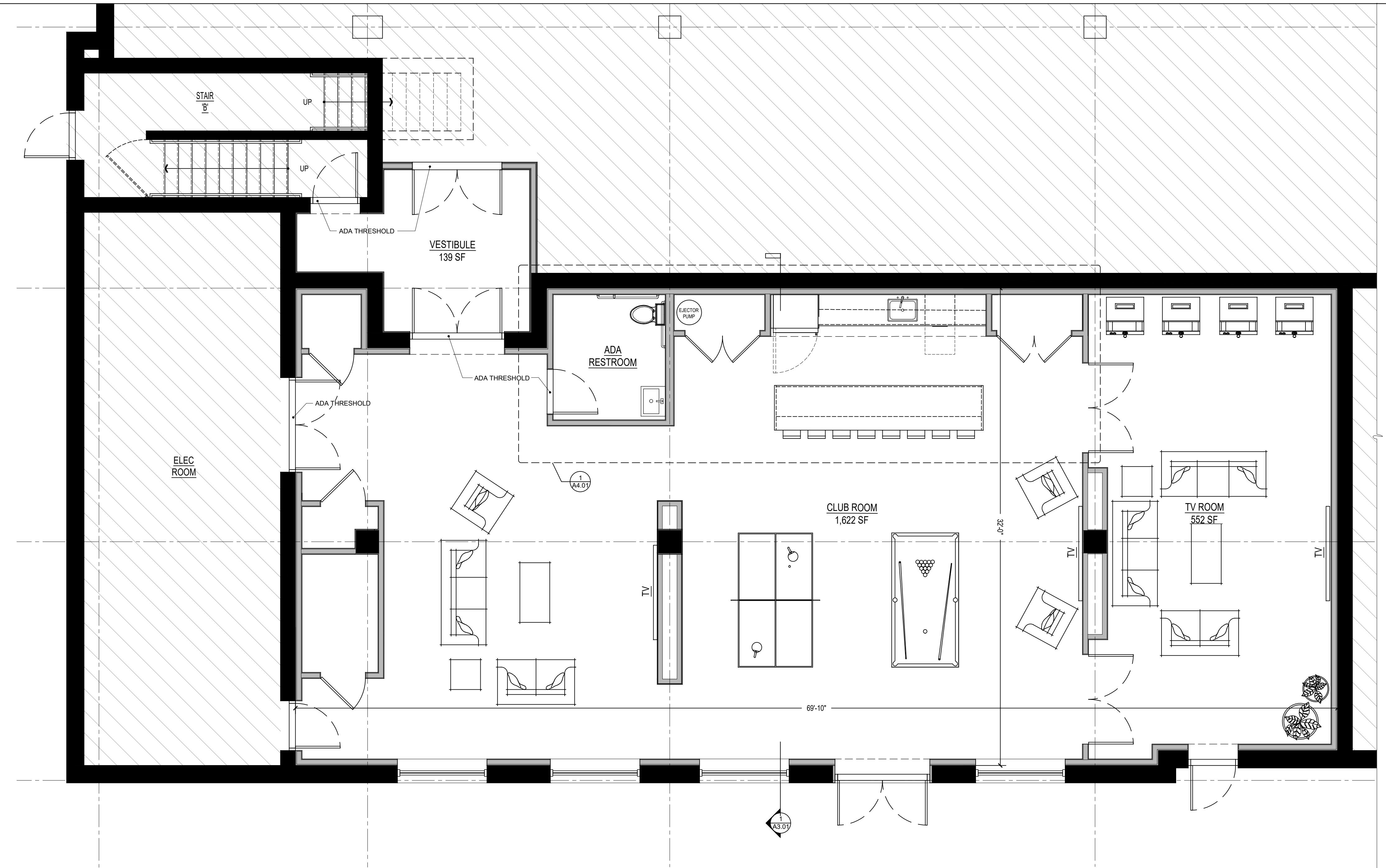
A6.02 DOOR SCHEDULE AND DETAILS

#### ELECTRICAL:

E1.00 NEW CLUB ROOM ELECTRICAL CEILING PLAN

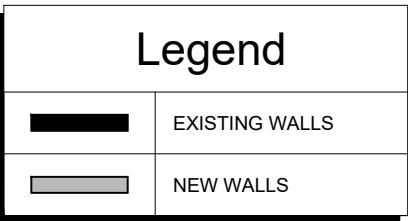
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Date: September 15, 2025  
Revisions:



1  
A1.00 New Club Room Architectural Plan

Scale: 1/4" = 1'-0"



**JTA**  
JOSEPH THOMPSON  
ARCHITECT

Joseph G. Thompson Architect, PLLC  
108 N Division Street, Suite 100  
Peekskill, New York 10566  
PH: (845) 532-8156  
EM: joe@jthompsonarch.com

NOTES:  
IT IS A VIOLATION OF THE LAW FOR  
ANY PERSON, UNLESS ACTING  
UNDER THE SUPERVISION OF A  
LICENSED ARCHITECT OR ENGINEER,  
TO ALTER AN ITEM IN ANY WAY. IF AN  
ITEM IS ALTERED, THE OWNER OF THE  
ITEM THE ALTERING ARCHITECT  
OR ENGINEER IS LIABLE FOR THE  
ITEM. THE SEAL AND THE NOTATION  
"ALTERED BY" FOLLOWED BY HIS  
SIGNATURE AND THE DATE OF THE  
ALTERATION, AND A SPECIFIC  
DESCRIPTION OF THE ALTERATION.

DO NOT SCALE DRAWINGS.  
WRITTEN DIMENSIONS GOVERN.  
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SEAL  
Joseph G. Thompson, RA  
New York State License #036057  
Expiration: August 31, 2027

## EASTPOINT ON HUDSON

Finkelstein Timberline East Real Estate (Owner)  
505 South Street  
Peekskill, New York 10566  
S-Bl-3212-5-1  
City of Peekskill - Westchester County

FOR PERMIT AND CONSTRUCTION

Date: September 15, 2025

Revisions:

A1.00



# EASTPOINT ON HUDSON

Finkelstein Timberger East Real Estate Owner  
505 South Street  
Peekskill, New York 10566  
S-1-132-12-5-1  
City of Peekskill - Westchester County

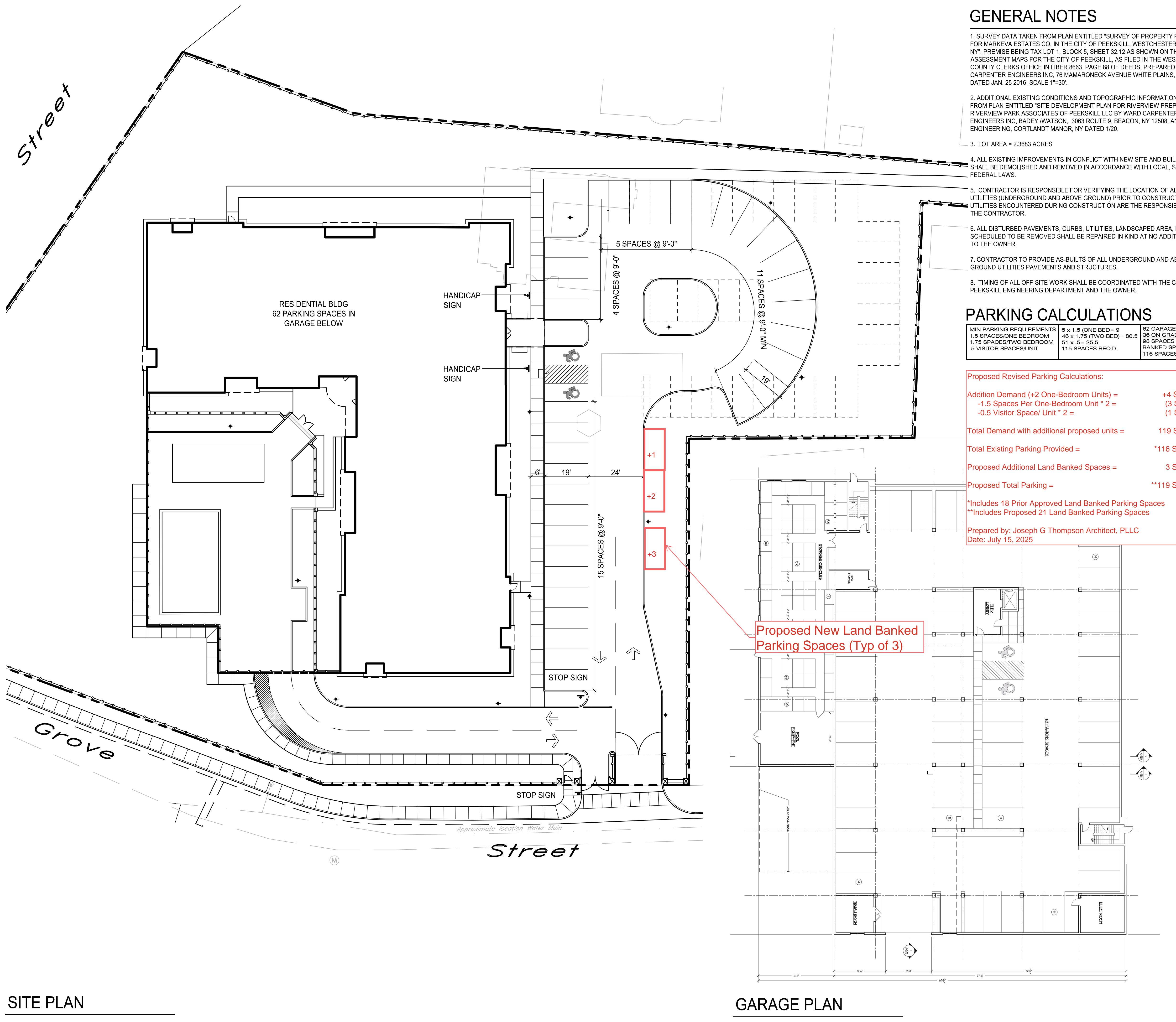
FOR PERMIT AND CONSTRUCTION  
Date: September 15, 2025  
Revisions:

A2.01



1  
A2.01  
New West Elevation  
Scale: 1/8" = 1'-0"

A2.01



## GENERAL NOTES

.. SURVEY DATA TAKEN FROM PLAN ENTITLED "SURVEY OF PROPERTY PREPARED FOR MARKEVA ESTATES CO. IN THE CITY OF PEEKSKILL, WESTCHESTER COUNTY, NY". PREMISE BEING TAX LOT 1, BLOCK 5, SHEET 32.12 AS SHOWN ON THE ASSESSMENT MAPS FOR THE CITY OF PEEKSKILL, AS FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE IN LIBER 8663, PAGE 88 OF DEEDS, PREPARED BY WARD CARPENTER ENGINEERS INC, 76 MAMARONECK AVENUE WHITE PLAINS, N.Y. 10601, DATED JAN. 25 2016, SCALE 1"=30'.

.. ADDITIONAL EXISTING CONDITIONS AND TOPOGRAPHIC INFORMATION TAKEN  
FROM PLAN ENTITLED "SITE DEVELOPMENT PLAN FOR RIVERVIEW PREPARED FOR  
RIVERVIEW PARK ASSOCIATES OF PEEKSKILL LLC BY WARD CARPENTER  
ENGINEERS INC, BADEY /WATSON, 3063 ROUTE 9, BEACON, NY 12508, AND CRONING  
ENGINEERING, CORTLANDT MANOR, NY DATED 1/20.

5. LOT AREA = 2.3683 ACRES  
6. ALL EXISTING IMPROVEMENTS IN CONFLICT WITH NEW SITE AND BUILDING WORK

SHALL BE DEMOLISHED AND REMOVED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS.

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL SITE UTILITIES (UNDERGROUND AND ABOVE GROUND) PRIOR TO CONSTRUCTION. UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR.

6. ALL DISTURBED PAVEMENTS, CURBS, UTILITIES, LANDSCAPED AREA, ETC. NOT SCHEDULED TO BE REMOVED SHALL BE REPAIRED IN KIND AT NO ADDITIONAL COST TO THE OWNER.

- . CONTRACTOR TO PROVIDE AS-BUILTS OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PAVEMENTS AND STRUCTURES.
- . TIMING OF ALL OFF-SITE WORK SHALL BE COORDINATED WITH THE CITY OF

EEKSKILL ENGINEERING DEPARTMENT AND THE OWNER.

## SYMBOLS LEGEND

W	EXISTING WATER LINE
G	EXISTING GAS LINE
E	EXISTING ELECTRIC LINE
S	EXISTING SAN LINE
	EXISTING OVERHEAD LINE
15	EXISTING CONTOUR
14.38	EXISTING SPOT ELEVATION
□/○	EXISTING DRAINAGE STRUCTURE/MANHOLE
□	EXISTING CATCH BASIN
○	EXISTING HYDRANT/WATER VALVE
○	EXISTING UTILITY POLE
○	EXISTING LIGHT POLE
○	EXISTING TREE
○	EXISTING MONUMENT / TEL BOX / SIGN
PROPERTY LINE	PROPERTY LINE
NEW CURB	NEW CURB
150	PROPOSED CONTOUR
153.0	PROPOSED SPOT ELEVATION
TS/BS	TOP STEP/BOTTOM STEP
TR/BR	TOP RAMP/BOTTOM RAMP

THIS DRAWING AND DETAILS ON IT, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF THE LANDSCAPE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT AND SHALL NOT BE COPIED, COPIED OR REPRODUCED WITHOUT CONSENT OF THE LANDSCAPE ARCHITECT.

# PROJECT NAME: IVERVIEW PLACE

SOUTH STREET  
WEEKSKILL, NY

# IVER VIEW PLACE ASSOCIATES

JULIA LANE  
OLD SPRING, NY

## PROFESSIONAL SEAL

DATE	1-24-20
CALE	1"=20'
DRAWN BY	RS
CHECKED BY	EG

# DRAWING TITLE

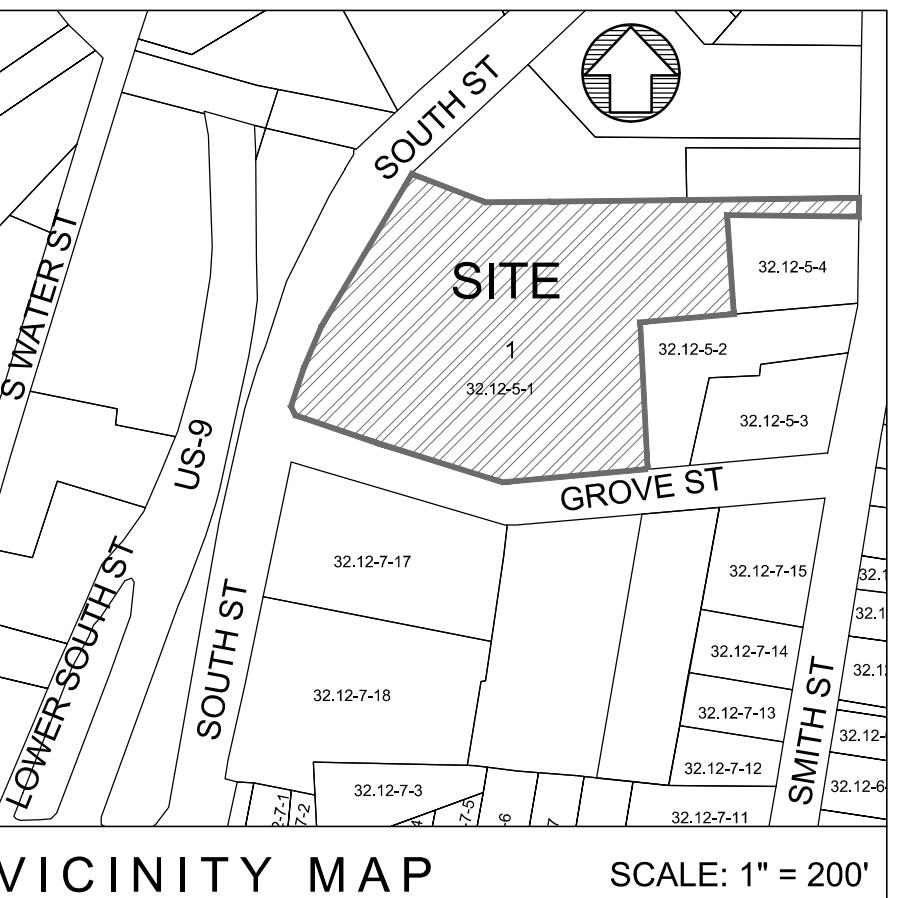
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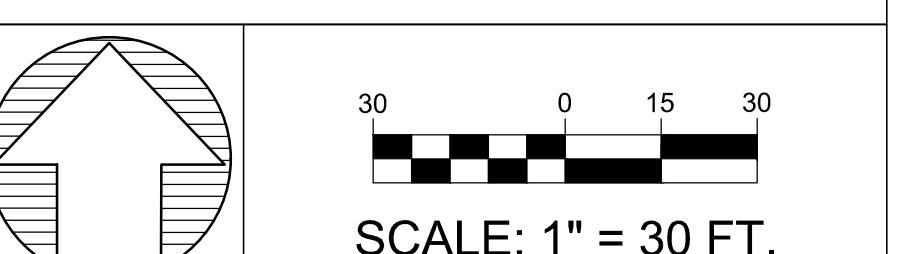
HEET NO.

# SITE PLAN

## GARAGE PLAN

# SP-4



SCALE: 1" = 200'  


SCALE: 1" = 30 FT.

LANDSCAPE ARCHITECT

BLADES & GOVEN LANDSCAPE ARCHITECTS  
C/O EARL J. GOVEN, ASLA  
PO BOX 1581  
FAIRFIELD, CONNECTICUT 06825

SURVEYOR

BADEY AND WATSON  
SURVEYING AND ENGINEERING, P.C.  
C/O GLENNON J. WATSON, LC  
3063 ROUTE 9  
COLD SPRING, NEW YORK 10516

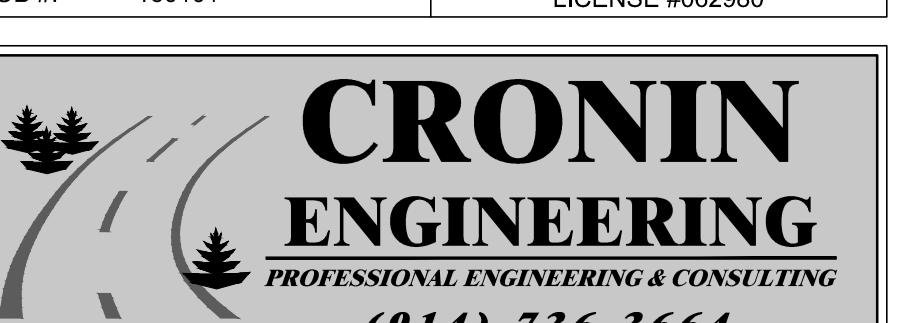
OWNER/APPLICANT

RIVER VIEW PLACE ASSOCIATES OF  
PEEKSKILL, LLC  
111 BROOK STREET, 2ND FLOOR  
SCARSDALE, NEW YORK 10583

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS  
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ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF  
ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS  
SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE  
DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
• COPYRIGHT "2022" BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS

REASON	DATE
PEEKSKILL TAX IDENTIFICATION	
SECTION: 32.12	
BLOCK: 05	
LOT: 01	
DESIGN BY: KCS/TC3	
DRAWN BY: KAA	
CHECKED: KCS/TC3	
PROJECT: 505 SOUTH STREET	
DATE: JANUARY 20, 2020	
JOB #: 160101	
TIMOTHY L. CRONIN III, P.E.	
LICENSE #062980	



39 Arlo Lane  
Cortlandt Manor, New York 10567

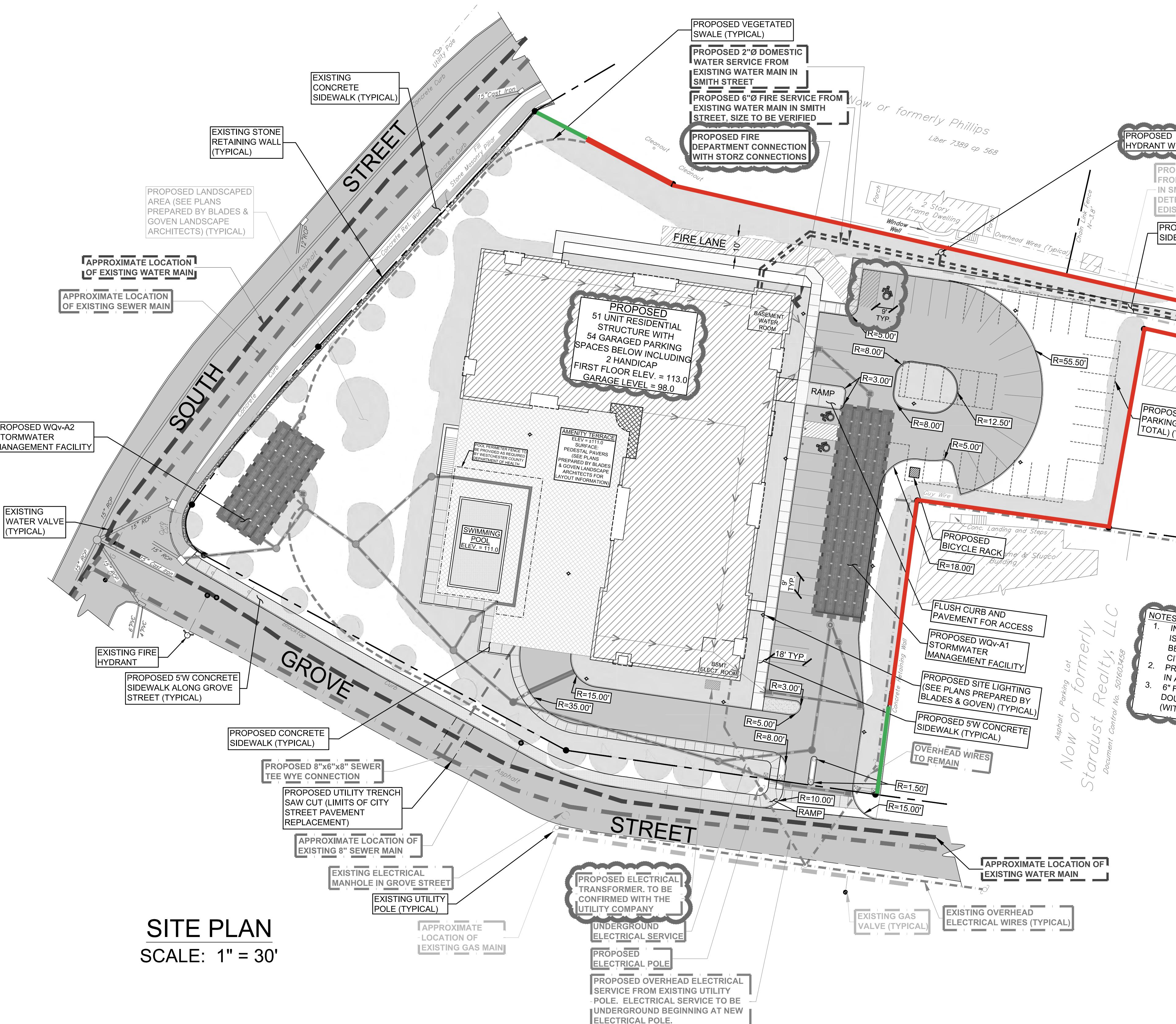
CIVIL SITE PLAN

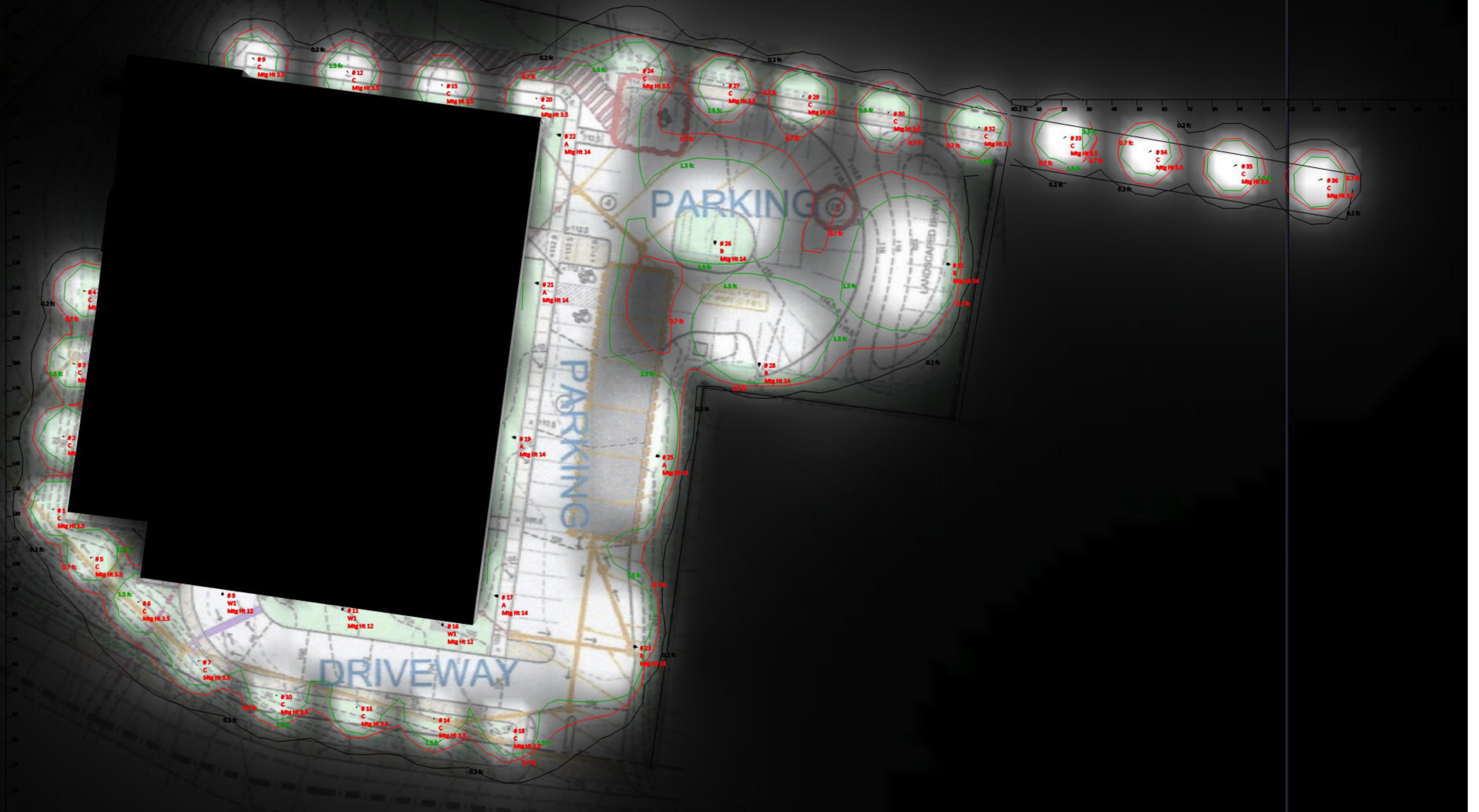
SITE DEVELOPMENT PLAN FOR  
RIVER VIEW PLACE  
505 SOUTH STREET

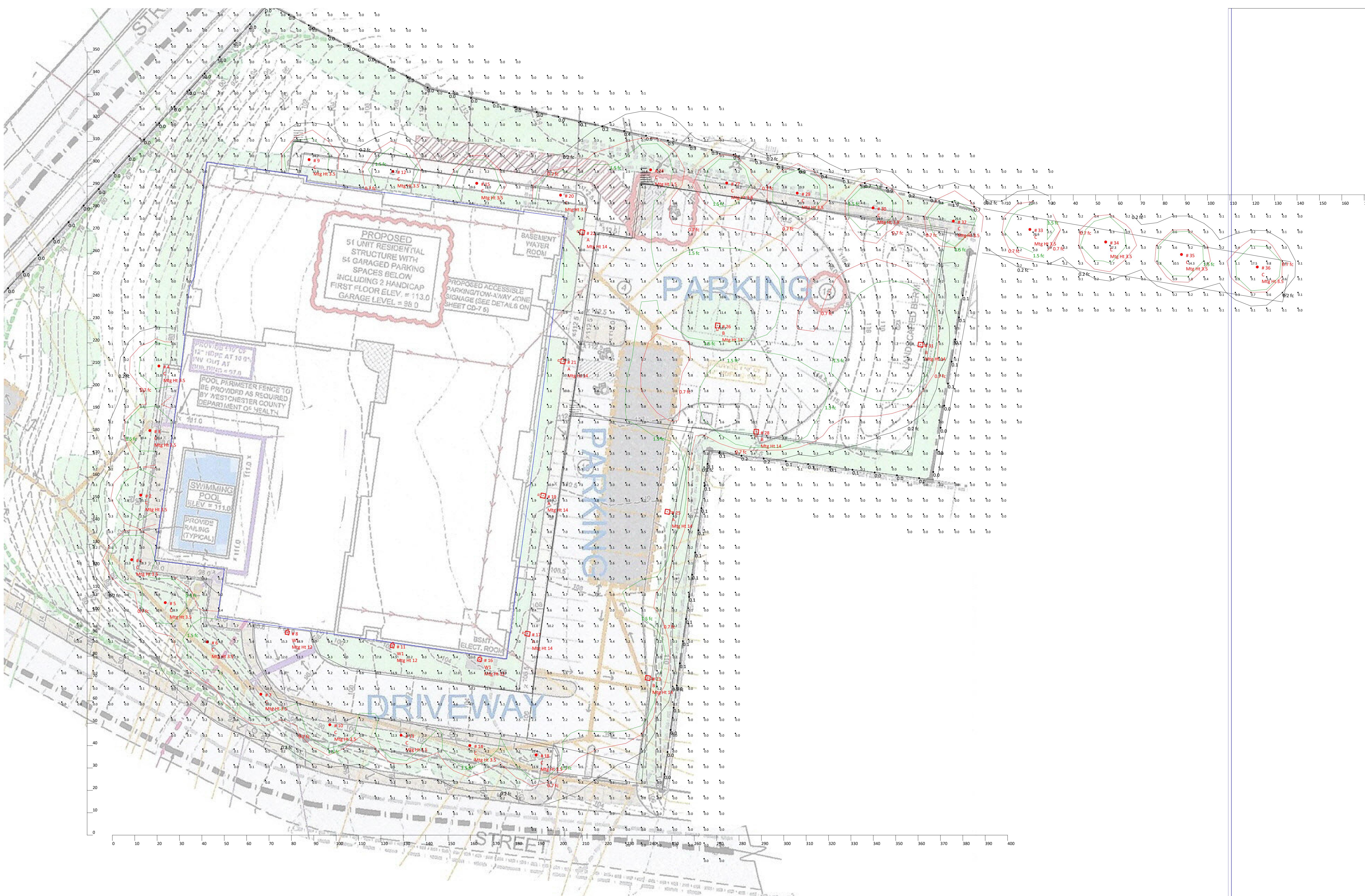
LOCATION:  
GROVE STREET + SOUTH STREET  
CITY OF PEEKSKILL, NEW YORK

SHEET 3 OF 12

CSP-3.1







Luminaire Schedule					Lighting Schedule			
Tag	Symbol	Qty	Label	Description	Lum. Lumens	LLF	Lum. Watts	Total Watts
A		5	ALEDM3TY + ALEDMHS	Direct drill, with shields, 3000K, set to 90W	17964	0.600	145.9	729.5
B		4	ALEDM4T + ALEDMHS	Direct drill, with shields, 3000K, set to 90W	17956	0.600	150.3	601.2
C		24	B17D 19W 3000K	Ground mounted	2811	1.000	17.9321	430.37
W1		3	ALEDS3TWMY	Wall mounted, Type III optic, 3000K, set to 150W	10458	1.000	81.2	243.6

Fixture Color Legend	
	Standard
	Emergency
	LightCloud Controls
	LightCloud Emergency
	Non-LightCloud Controls

Luminaire Tag Summary	
Tag	Qty
A	5
B	4
C	24
W1	3

Isoline Legend	
Illuminance (Fc)	
Color	Value
	0.2
	0.7
	1.5

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	2.05	28.5	0.0	N.A.	N.A.
Dog Run	Illuminance	Fc	1.37	27.3	0.0	N.A.	N.A.
Est Property Line	Illuminance	Fc	0.29	1.9	0.0	N.A.	N.A.
Est Property Line_1	Illuminance	Fc	0.08	0.2	0.0	N.A.	N.A.
Est Property Line_2	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Park North	Illuminance	Fc	2.63	11.6	0.0	N.A.	N.A.
Park South	Illuminance	Fc	4.32	12.2	0.4	10.80	30.50
Path North	Illuminance	Fc	4.15	24.7	0.2	20.75	123.50
Pavement	Illuminance	Fc	3.41	18.9	0.0	N.A.	N.A.

#	Date	Comments
3	08/28/2025	

Drawn By: Patrick Carbone
Checked By:
Date: 8/28/2025

Scale: As Noted
East Point River View
505 South

Luminaire Location Summary			
Lum No	Label	MH	Tilt
1	B17D 19W 4000K	3.5	0
2	B17D 19W 4000K	3.5	0
3	B17D 19W 4000K	3.5	0
4	B17D 19W 4000K	3.5	0
5	B17D 19W 4000K	3.5	0
6	B17D 19W 4000K	3.5	0
7	B17D 19W 4000K	3.5	0
8	ALEDS3TWMY	12	0
9	B17D 19W 4000K	3.5	0
10	B17D 19W 4000K	3.5	0
11	ALEDS3TWMY	12	0
12	B17D 19W 4000K	3.5	0
13	B17D 19W 4000K	3.5	0
14	B17D 19W 4000K	3.5	0
15	B17D 19W 4000K	3.5	0
16	ALEDS3TWMY	12	0
17	ALEDM3TY + ALEDMHS	14	0
18	B17D 19W 4000K	3.5	0
19	ALEDM3TY + ALEDMHS	14	0
20	B17D 19W 4000K	3.5	0
21	ALEDM3TY + ALEDMHS	14	0
22	ALEDM3TY + ALEDMHS	14	0
23	ALEDM4T + ALEDMHS	14	0
24	B17D 19W 4000K	3.5	0
25	ALEDM3TY + ALEDMHS	14	0
26	ALEDM4T + ALEDMHS	14	0
27	B17D 19W 4000K	3.5	0
28	ALEDM4T + ALEDMHS	14	0
29	B17D 19W 4000K	3.5	0
30	B17D 19W 4000K	3.5	0
31	ALEDM4T + ALEDMHS	14	0
32	B17D 19W 4000K	3.5	0
33	B17D 19W 4000K	3.5	0
34	B17D 19W 4000K	3.5	0
35	B17D 19W 4000K	3.5	0
36	B17D 19W 4000K	3.5	0

**DAMIN SALES**  
Electrical Manufacturers Representatives

Drawn By: Patrick Carbone

Checked By:

Date: 8/28/2025

Revisions

Comments

# 3 Date 08/28/2025

Scale: As Noted

East Point River View

505 South

Page 4 of 4

## LEGEND

- CATCH BASIN
- DRAIN INLET
- UTILITY POLE
- SIGN POST
- HYDRANT
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- TRAFFIC POLE
- TELE. MANHOLE
- ELECTRIC BOX
- SEWER MANHOLE
- WATER MANHOLE
- ELECTRIC MANHOLE
- DRAIN MANHOLE
- MANHOLE
- MONITORING WELL
- VALVE
- 14TREE
- SIZE
- +242.5 EXIST ELEV.
- +(242.5) PROPD ELEV.
- 14TREE
- (TO BE REMOVED)

JOB NUMBER: PK32.12-5-1

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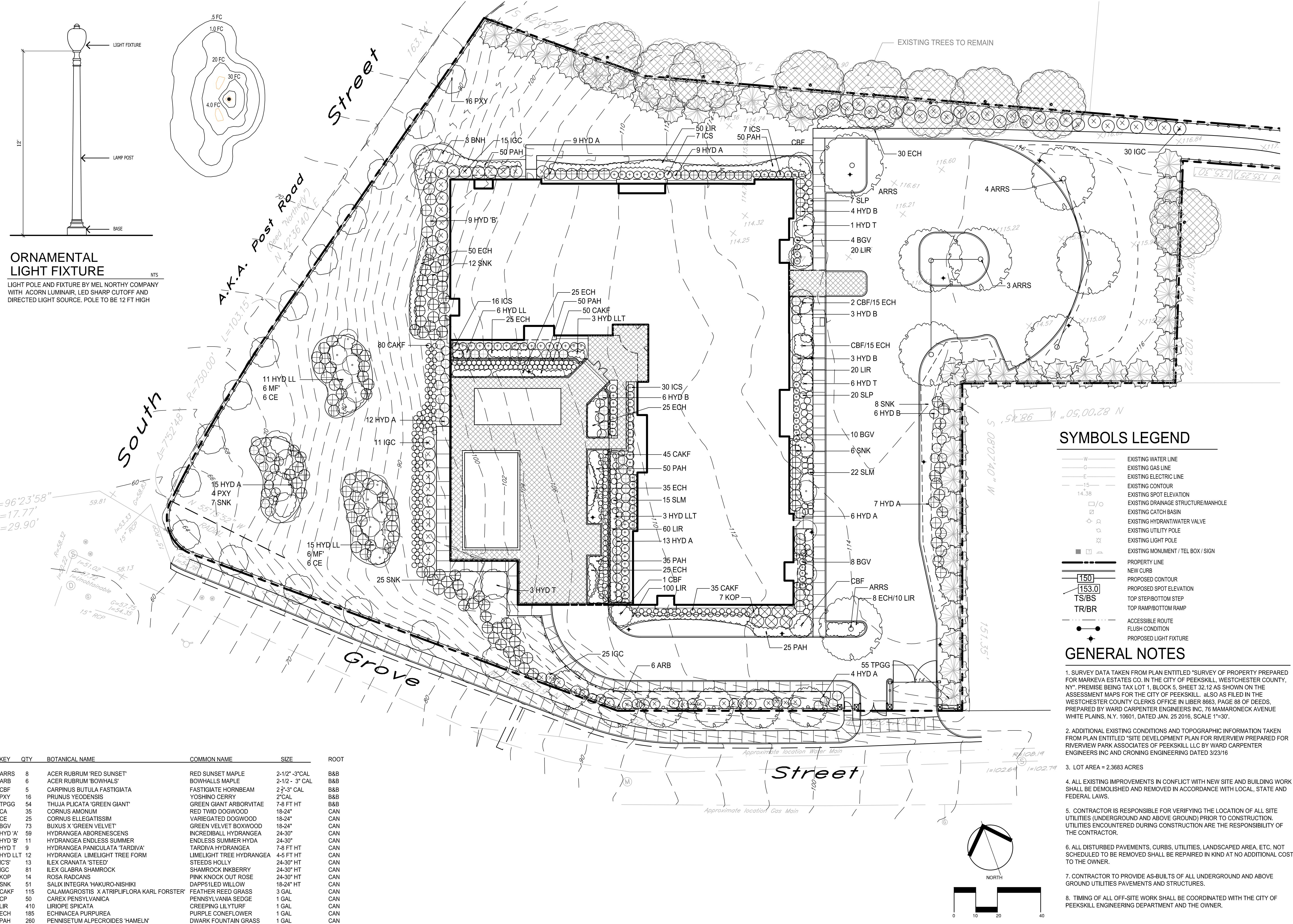
R

S











## EASTPOINT ON HUDSON

Finkelstein Timberline East Real Estate (Owner)

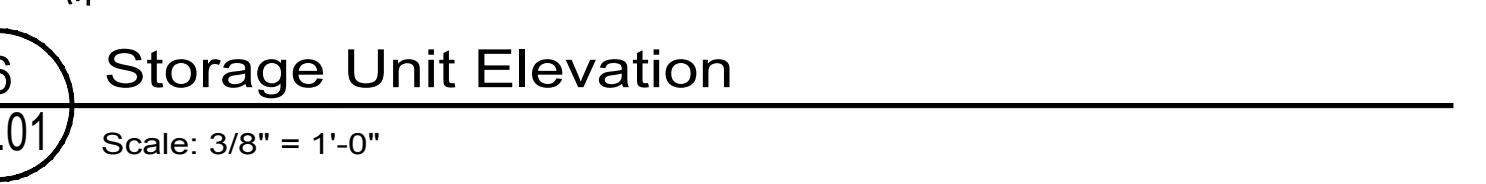
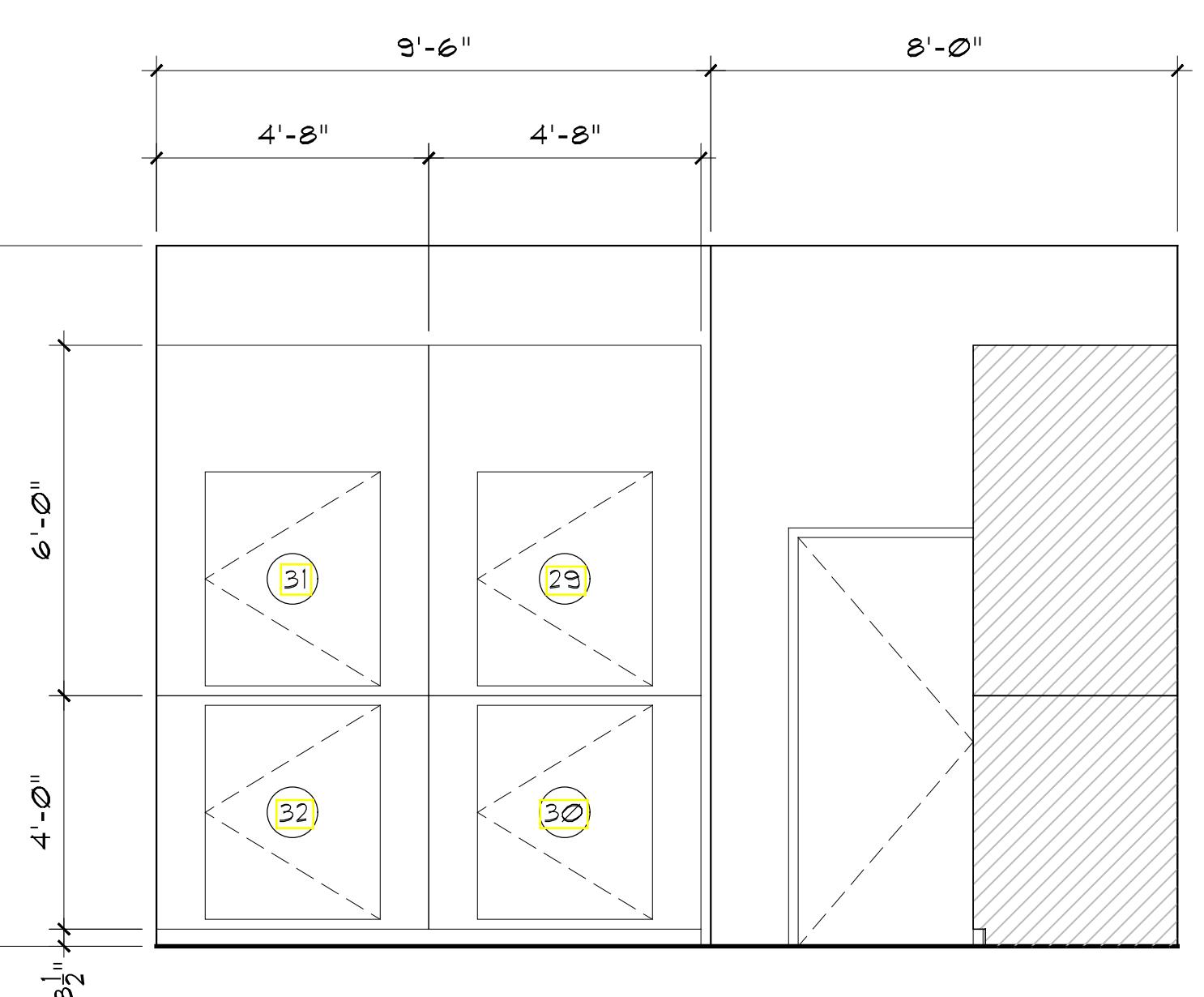
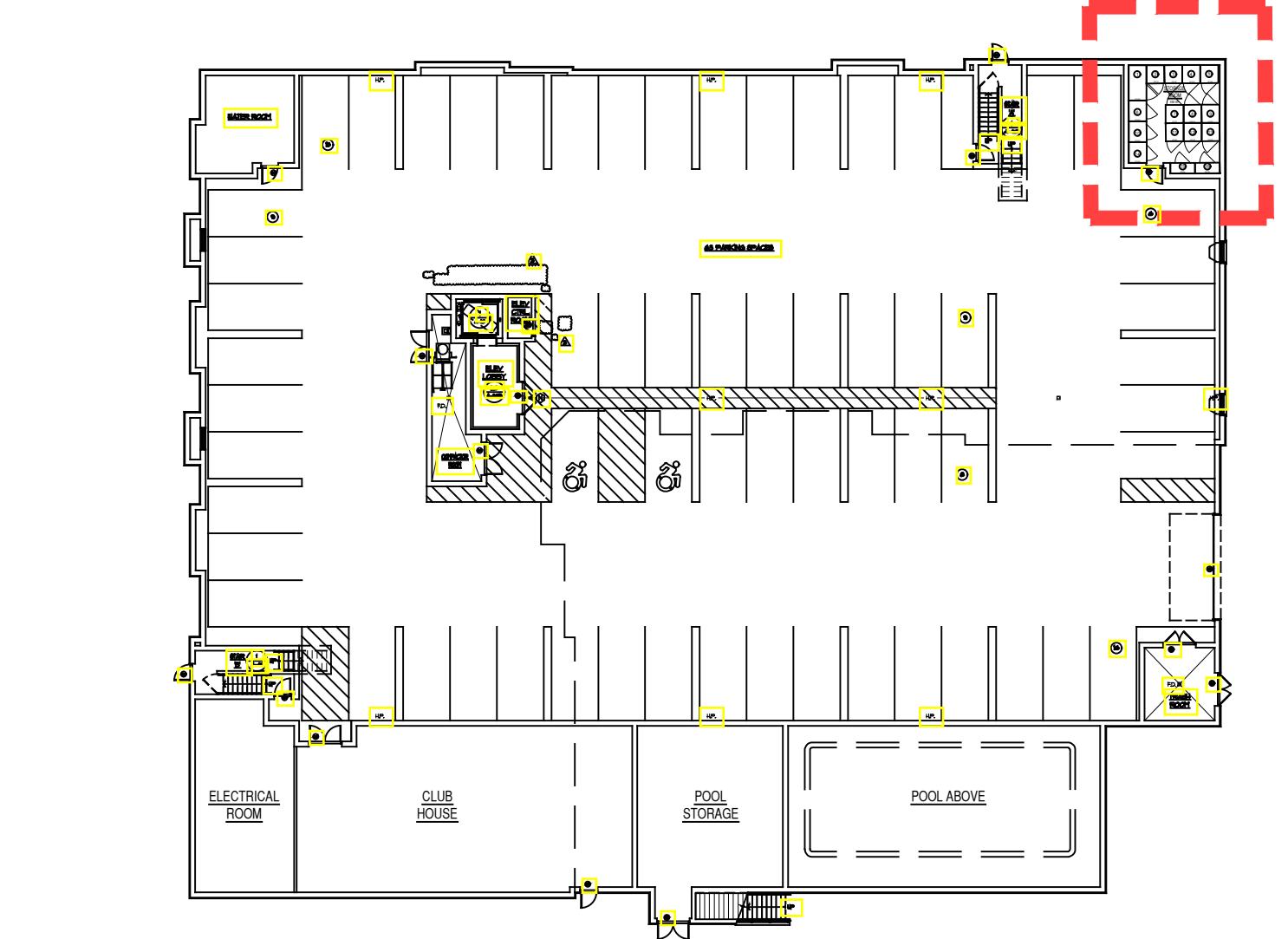
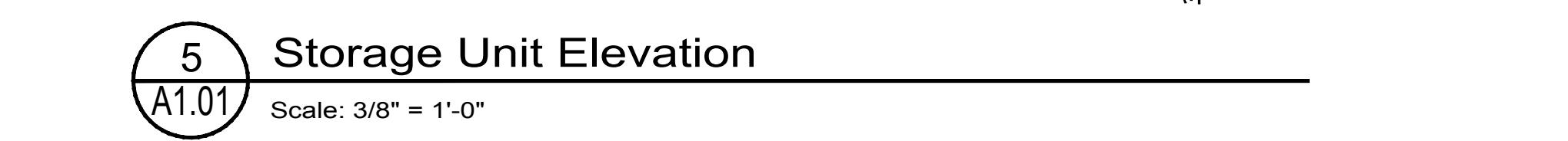
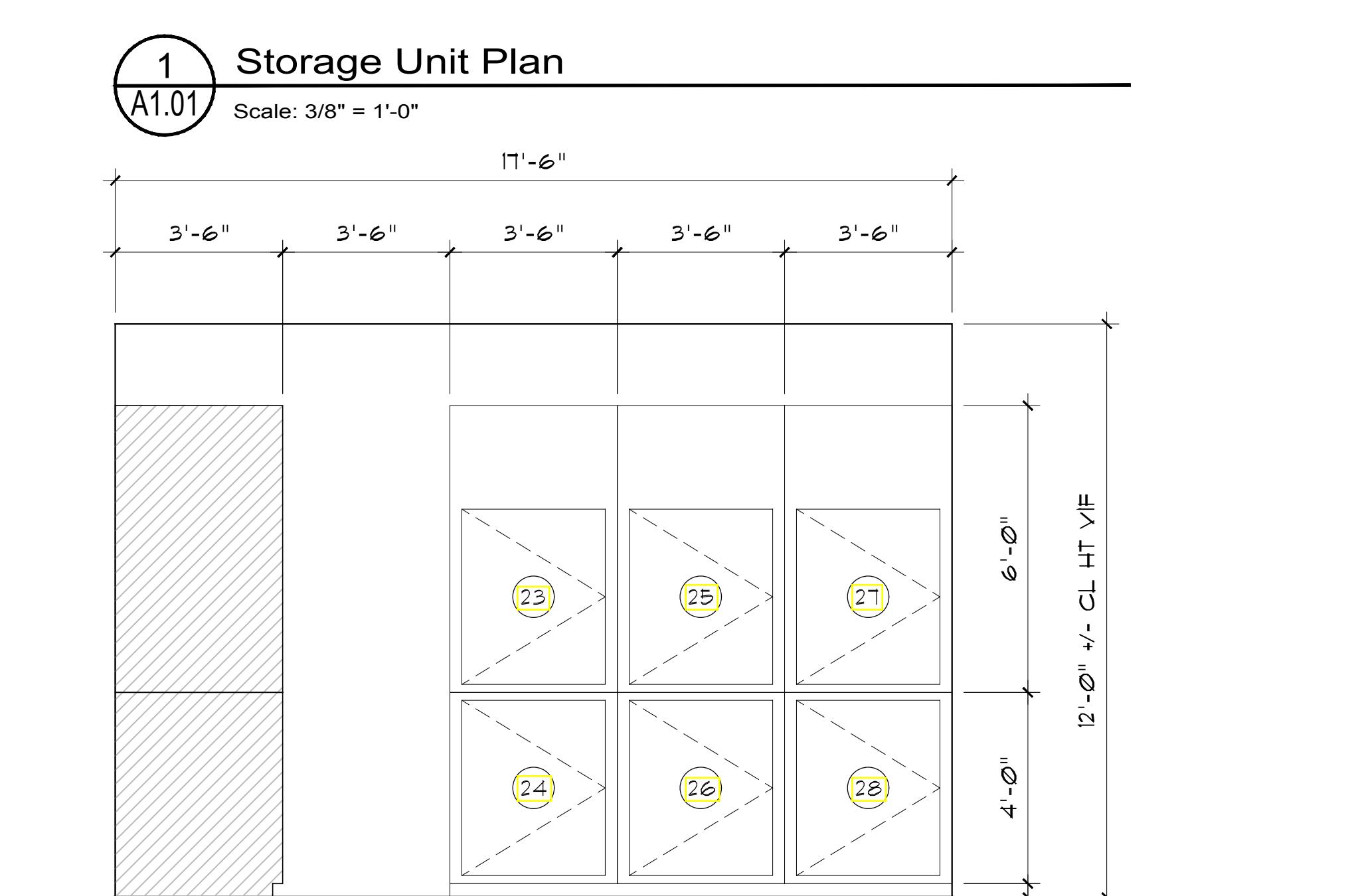
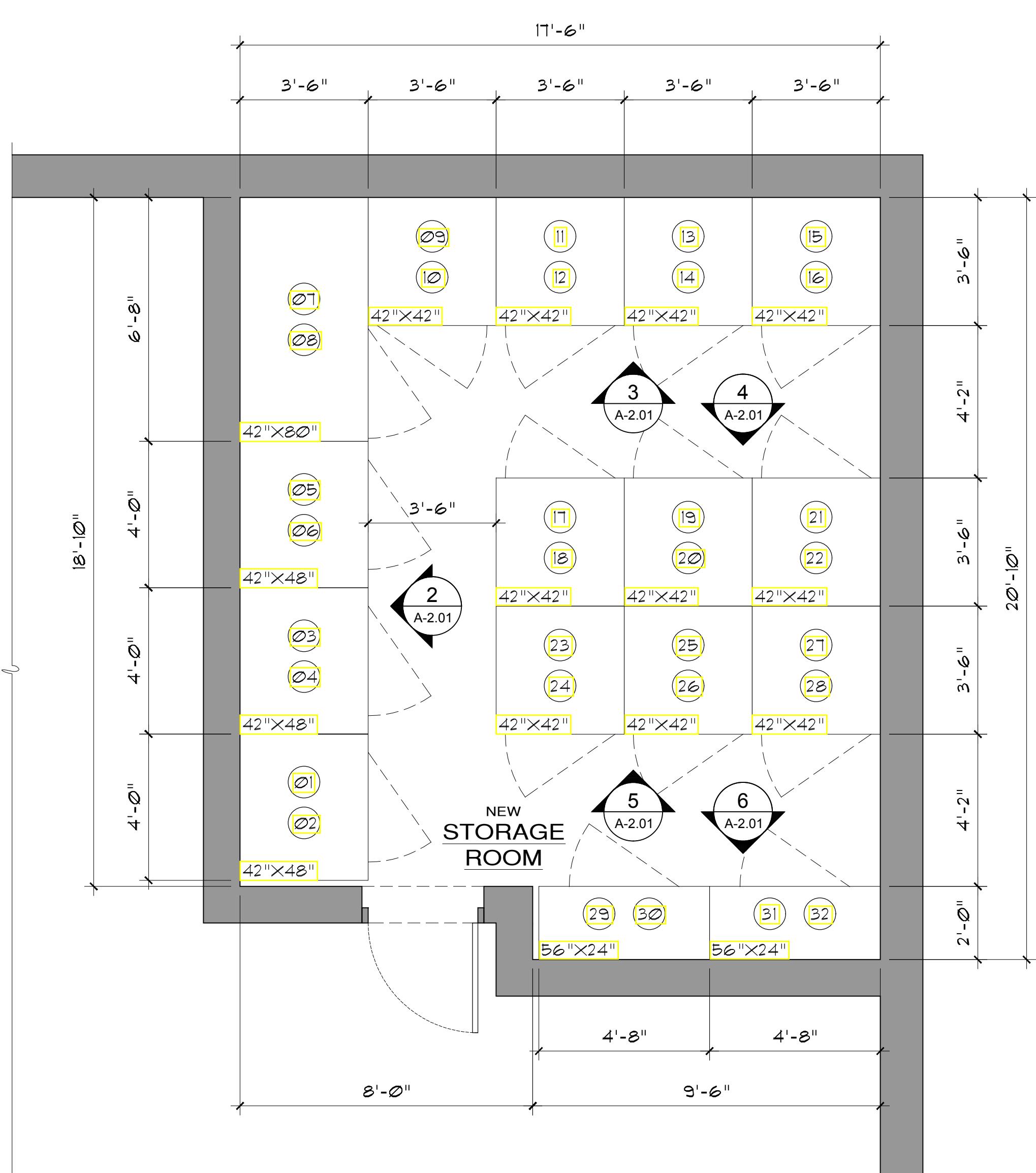
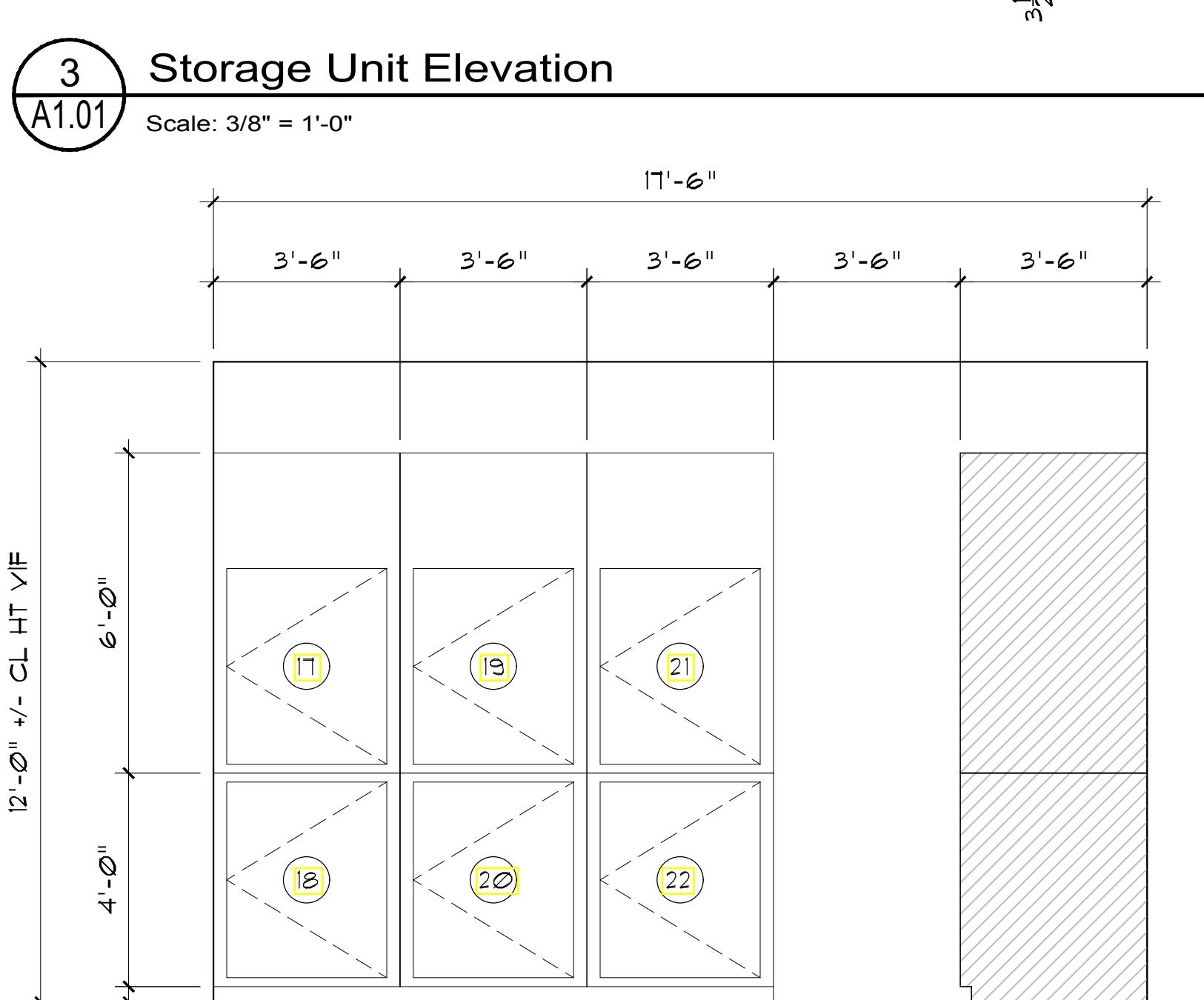
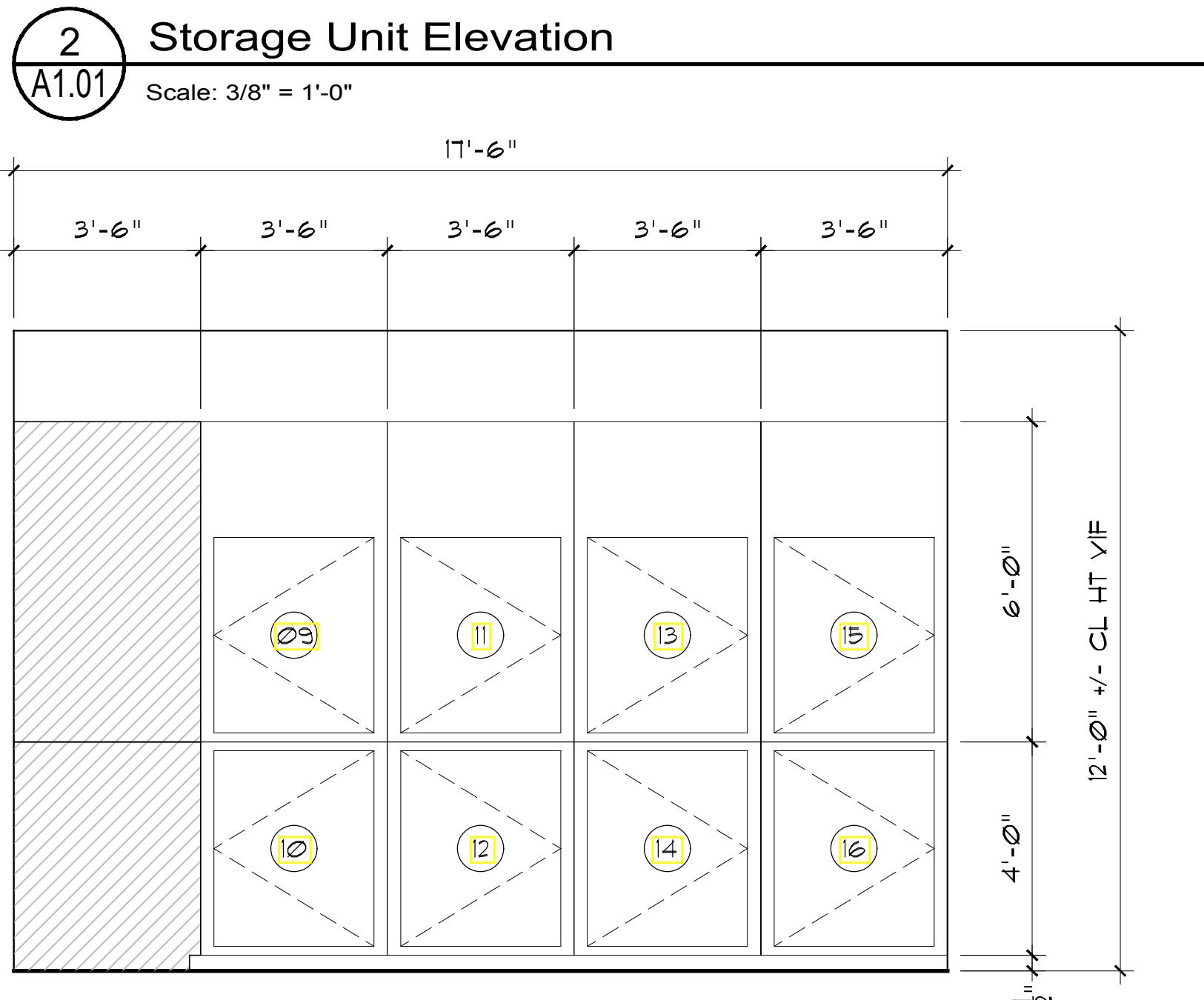
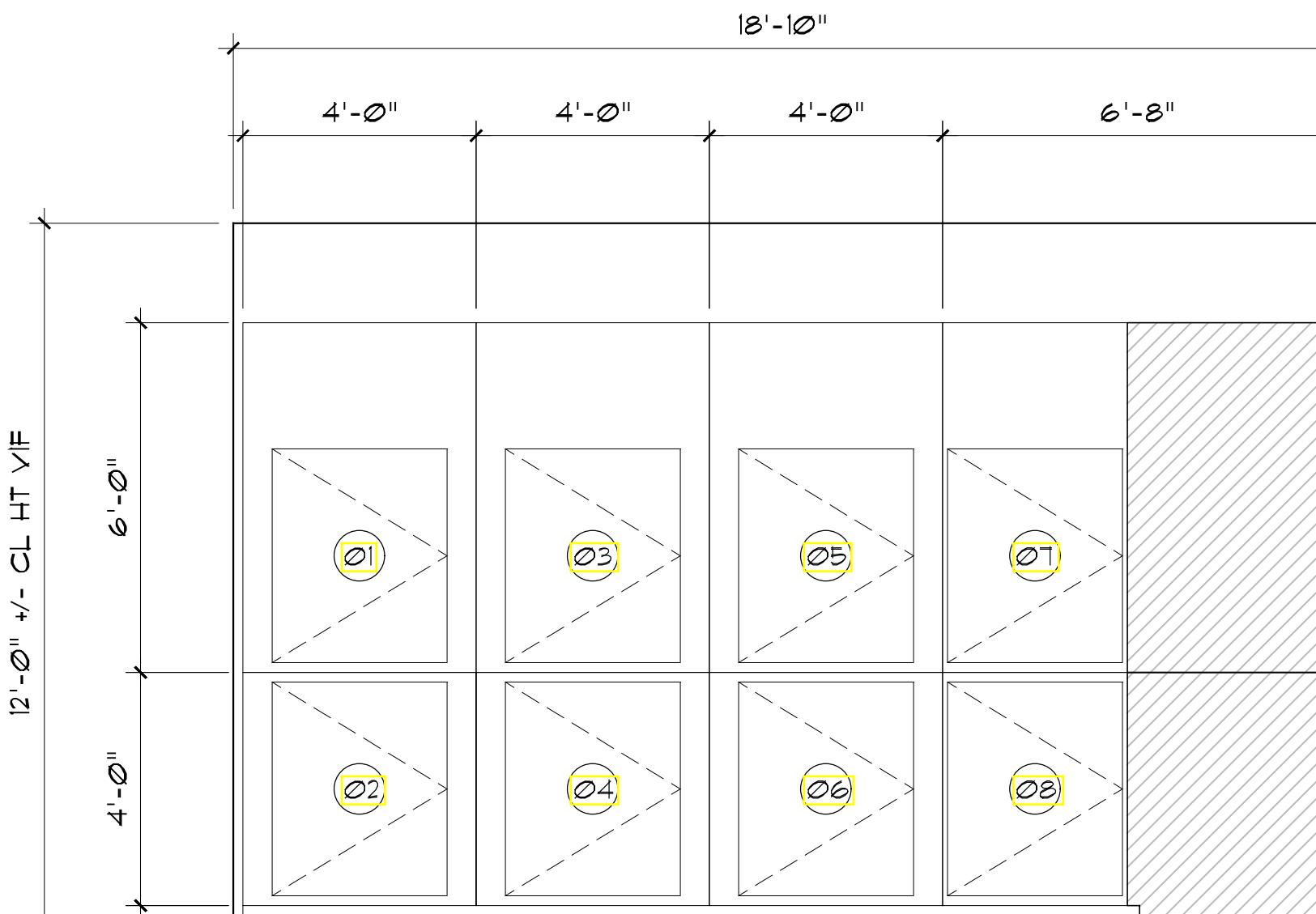
505 South Street  
Peekskill, New York 10566  
S-EL-32-12-5-1  
City of Peekskill - Westchester County

FOR PERMIT AND CONSTRUCTION

Date: January 6, 2026

Revisions:

SK-1





JOSEPH THOMPSON  
A R C H I T E C T

108 N DIVISION STREET, SUITE 100, PEEKSKILL, NEW YORK 10566

To: **City of Peekskill Planning Commission**  
City Hall  
840 Main Street  
Peekskill, New York 10566

Attn: **Chair Stern & Planning Commission Members**

Date: November 10, 2025

RE: **EAST POINT ON HUDSON- IN-HOUSE MINOR MODIFICATION NARRATIVE**  
505 South Street, Peekskill, New York 10566  
S-B-L: 32.12-5-1

---

Our office is pleased to represent Riverview Associates of Peekskill, Inc. to propose modifications to the project currently under construction at the property at 505 South Street. This new luxury residential apartment development that is planned to be completed this Winter offers graciously sized apartment units, ample amenities and spectacular views of the Hudson River.



**Figure 1. Photograph of current construction of East Façade taken on September 17, 2025.**

**Summary of modifications proposed:**

- New Clubhouse amenity space. An area originally planned for storage units is proposed to be converted into a new Clubhouse amenity space.
- New Dog Walk. Provide Dog Walk area in the section of property connecting the outdoor Parking area to Spring Street.
- Entrance Gates: Remove prior proposed entrance gates.

**Additional Documents provided as per request of the Planning Department:**

- Photometric Plans required as a condition of approval:
  - General Parking Lot Lighting that includes a combination of pole type fixtures and building mounted fixtures.
  - New bollard lighting along walking paths.
- As-Built Survey

**Figure 2. Photograph of current site construction & retaining walls taken September 17, 2025.**



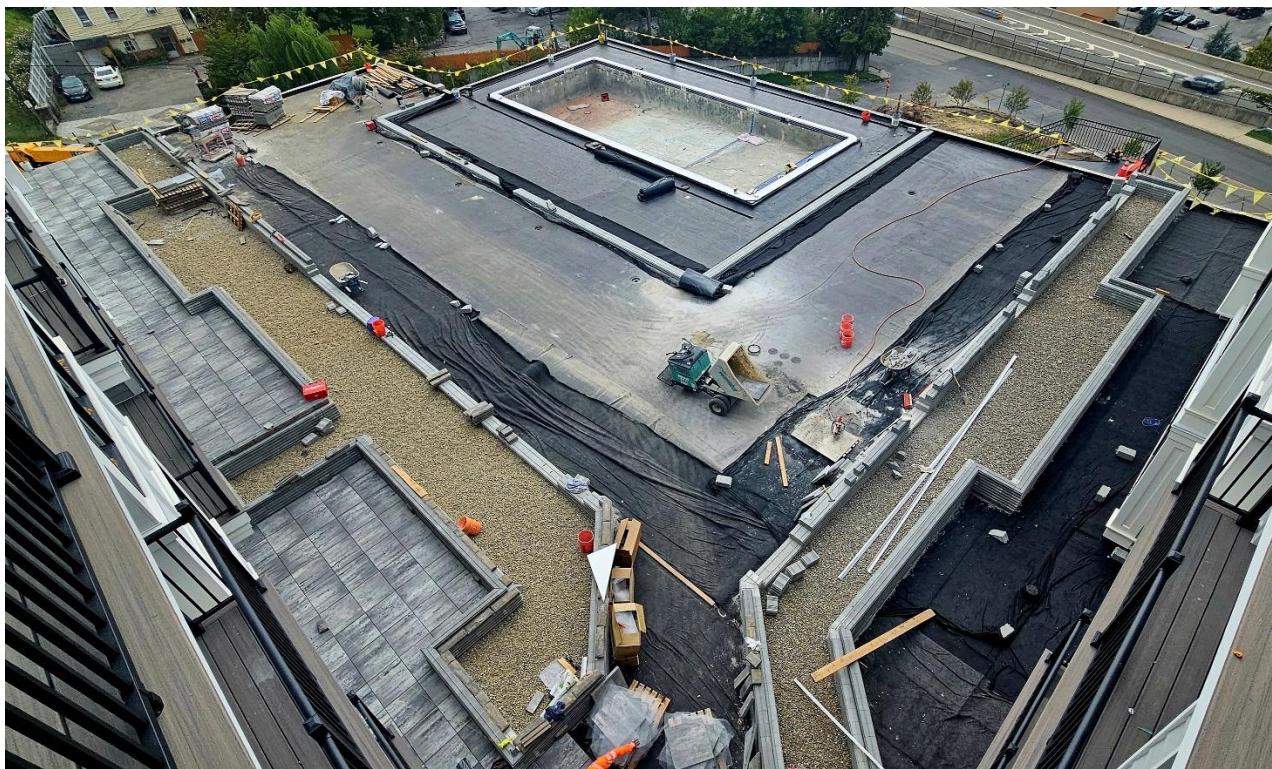
**Figure 3. Photograph of existing basement space proposed to convert to new Clubhouse taken on September 17, 2025.**



**Figure 4. Photograph of the view from patio area immediately outside proposed new clubhouse taken on September 17, 2025.**



**Figure 5. Photograph of West Façade, Outdoor Courtyard and Pool Construction taken on September 17, 2025**



**Figure 6. Photograph of Outdoor Courtyard and Pool Area Construction taken on September 17, 2025**

The changes outlined above are proposed in the interest of improving building amenities within the building as constructed on site. We look forward to further reviewing this application with the Board. Please contact me should you have any questions or should any further information be required.

Respectfully Submitted,

Joseph G. Thompson, RA, M. Arch, NCARB, LEED AP, CSA, CDI  
NYS Registered Architect



Attachments:

1. Proposed New Clubhouse Drawings dated September 15, 2025 (3 Sheets)
2. Fence Site Diagram dated September 9, 2025 (1 Sheet).
3. Exterior Lighting & Photometric Plans prepared dated August 28, 2025 (4 Sheets)
4. As-Built Survey dated March 18, 2024 (1 Sheet)



SEAL  
Joseph G. Thompson, RA  
New York State License #036057  
Expiration: August 31, 2027

HABITABLE SPACE NATURAL LIGHT & VENTILATION		
CLUB ROOM (?? SF+/-)	8% REQ'D (12.16)	ARTIFICIAL LIGHTING PROVIDED
LIGHT: VENT: PROVIDED	4% REQ'D (6.08)	MECHANICAL VENTILATION

TV ROOM (?? SF+/-)		
LIGHT: VENT:	8% REQ'D (22.40)	16.14% PROVIDED (45.20)
VENT:	4% REQ'D (11.20)	15.07% PROVIDED (42.20)

BUILDING CONSTRUCTION COMPLIANCE - CERTIFICATION		
<ul style="list-style-type: none"> <li>- Title 19 (NYCRR)</li> <li>- Chapter XXXIII - State Fire Prevention and Building Code Counsel</li> <li>- Subchapter A - Uniform Fire Prevention and Building Code</li> </ul>		
<p>I do hereby certify that these drawings and specifications have been prepared under my supervision, and that to the best of my knowledge and professional judgment, the design has been made in conformance with all applicable requirements of Title 19 (NYCRR) - Chapter XXXIII, Subchapter A and the following referenced codes of New York State:</p> <p>New York State Building Code- 2020 Edition New York State Energy Conservation Construction Code- 2020 Edition</p>		
<p>Signed Joseph G. Thompson, NYS Registered Architect (License # 036057)</p>		

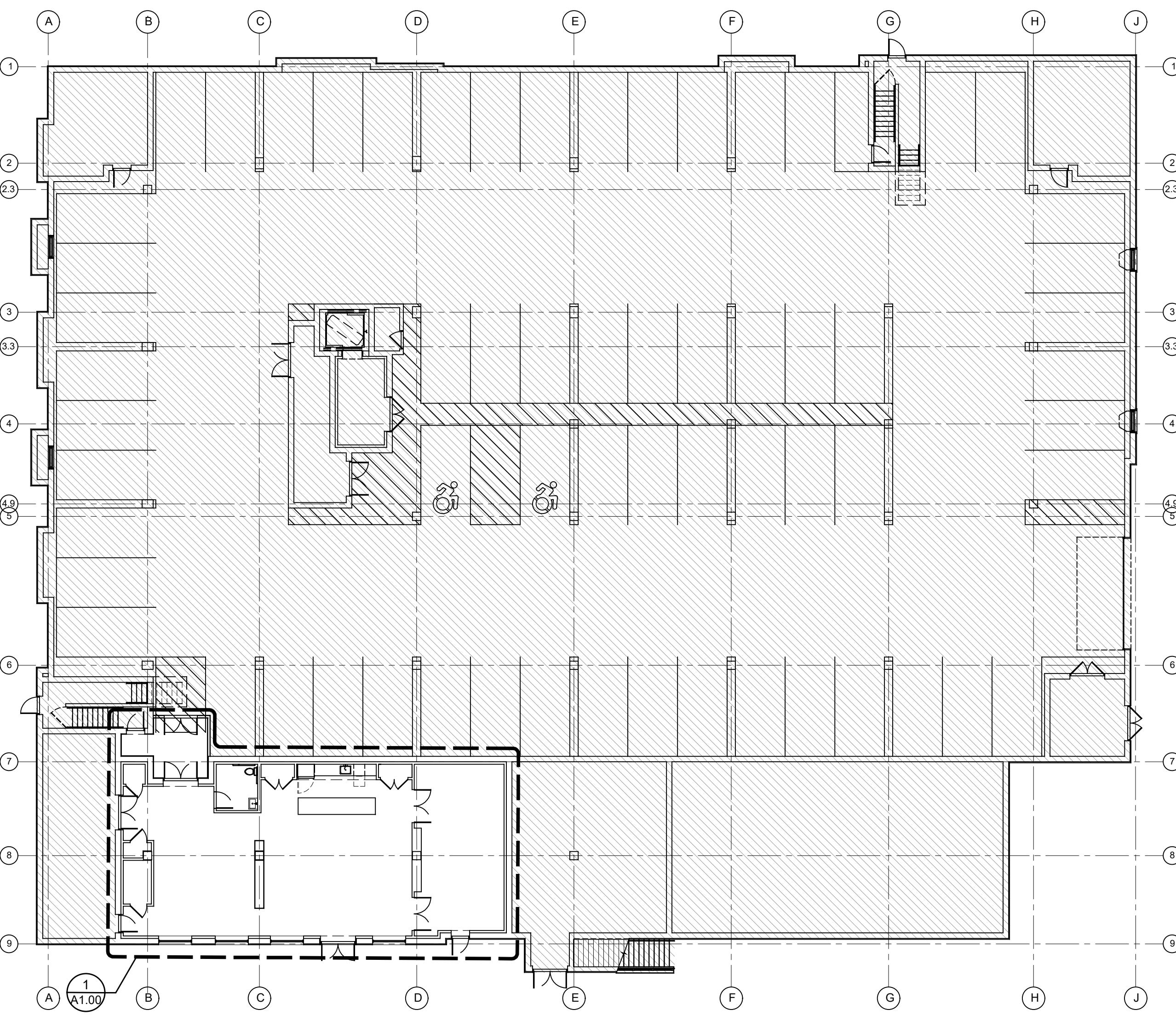
ENERGY CONSERVATION COMPLIANCE - CERTIFICATION		
<ul style="list-style-type: none"> <li>- Title 19 (NYCRR)</li> <li>- Chapter XXXIII - State Fire Prevention and Building Code Counsel</li> <li>- Subchapter B - State Energy Construction Conservation Code</li> <li>- Part 1240 - Energy Conservation Construction Code</li> </ul>		
<p>The proposed envelope system represented in these drawings and specifications has been designed to meet the requirements of Chapter 4 of the New York State Energy Conservation Construction Code - 2020 Edition</p>		
<p>I do hereby certify that these drawings and specifications have been prepared under my supervision, and that to the best of my knowledge and professional judgement, the design has been made in conformance with all applicable requirements of Title 19 (NYCRR) - Chapter XXXIII, Subchapter B - Part 1240</p>		
<p>General Contractor shall be required air seal the building envelope as required meet minimum air leakage test requirements in accordance with ECCNYS 2020 Section C406.9 (Reduced Air Infiltration). Test results shall be submitted to Building Inspector and Architect for review.</p> <p>General Contractor shall be required to insulate ductwork and test for air leakage in accordance with ECCNYS 2020 Section C403.11. Certification of the testing results shall be submitted to the Building Inspector for review and approval prior to issuance of a Certificate of Occupancy.</p> <p>A COMcheck energy compliance analysis signed and sealed by a NYS Licensed Mechanical Engineer shall be submitted in addition to meeting the prescriptive method insulation requirements as noted on this sheet in accordance with ECCNYS 2020 Table C402.1.3 and shall be submitted to the Building Inspector for approval prior to start of construction.</p>		
<p>Signed Joseph G. Thompson, NYS Registered Architect (License # 036057)</p>		

CITY OF PEEKSKILL, NEW YORK						
Ground Snow Load	Wind Design					Seismic Category
	Wind Speed	Topo Effects	Special Wind Region	Wind-borne Debris Zone		
30	*120	No	Yes	No	C	
Subject to Damage From						
Weathering	Frost Depth	Termite	Ice Shield Underlayment	Flood Hazards	Air Freezing Index	Mean Annual Temp
Severe	42"	Moderate to Heavy	Yes	N/A	1,500 or Less	51.6

\*115 MPH to 120 MPH. The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.

# EAST POINT ON HUDSON

## CITY OF PEEKSKILL - WESTCHESTER COUNTY



ENERGY CODE COMPLIANCE PER ECCNYS 2020 EDITION TABLE C402.1.3											
CRITERIA	CLIMATE ZONE	VENTERATION U-FACTOR	ENTRANCE DOORS U-FACTOR	SKYLIGHT U-FACTOR	SHGC	CEILING R-VALUE	ROOF (ABOVE DECK)	WOOD FRAME WALL	MASS WALL R-VALUE	FLOOR R-VALUE	BELOW GRADE WALL
MIN. REQ'D VALUE	4	0.38 FIXED 0.45 OPER	0.77	0.5	*0.36	38 CAVITY	30 CI (AVG)	20 CAVITY	11.4 CI	30 CAVITY	R-7.5 CI

\*0.36 is the most restrictive value based on climate zone and a window projection factor of 0 has been utilized.  
NOTE: CLIMATE ZONE 4 ESTABLISHED FOR WESTCHESTER COUNTY.  
NOTE: BUILDING ENVELOPE SHALL BE TESTED IN ACCORDANCE WITH ASTM E779 AT A PRESSURE DIFFERENTIAL OF 0.3 INCH WATER GUAGE (75 Pa) AND SHALL NOT HAVE A LEAKAGE RATE GREATER THAN 0.4 CFM/SF

### PROJECT DESCRIPTION

NEW COMMUNITY ROOM IN MULTI-FAMILY BUILDING.

### DRAWING INDEX

#### GENERAL:

G0.00 TITLE SHEET / KEY PLAN  
G0.01 GENERAL NOTES

#### LIFE SAFETY:

LS1.00 NEW CLUB ROOM EGRESS PLAN

STRUCTURAL: (BY MJ ENGINNERING & DESIGN)

SK-1 PROPOSED NEW WINDOW OPENING AT WEST ELEVATION

#### FRAMING:

FR1.00 NEW CLUB ROOM FRAMING PLAN & WALL TYPES

#### ARCHITECTURAL:

A1.00 NEW CLUB ROOM ARCHITECTURAL PLAN

A2.01 NEW WEST ELEVATION

A3.01 BUILDING SECTION AT NEW CLUB ROOM

A4.01 KITCHENETTE & ADA RESTROOM ENLARGED PLAN & INTERIOR ELEVATIONS

A4.02 ADA RESTROOM GUIDELINES, PLAN AND ELEVATIONS

A6.01 WINDOW SCHEDULE AND DETAILS

A6.02 DOOR SCHEDULE AND DETAILS

#### ELECTRICAL:

E1.00 NEW CLUB ROOM ELECTRICAL CEILING PLAN

G0.00

Date: September 15, 2025  
Revisions:





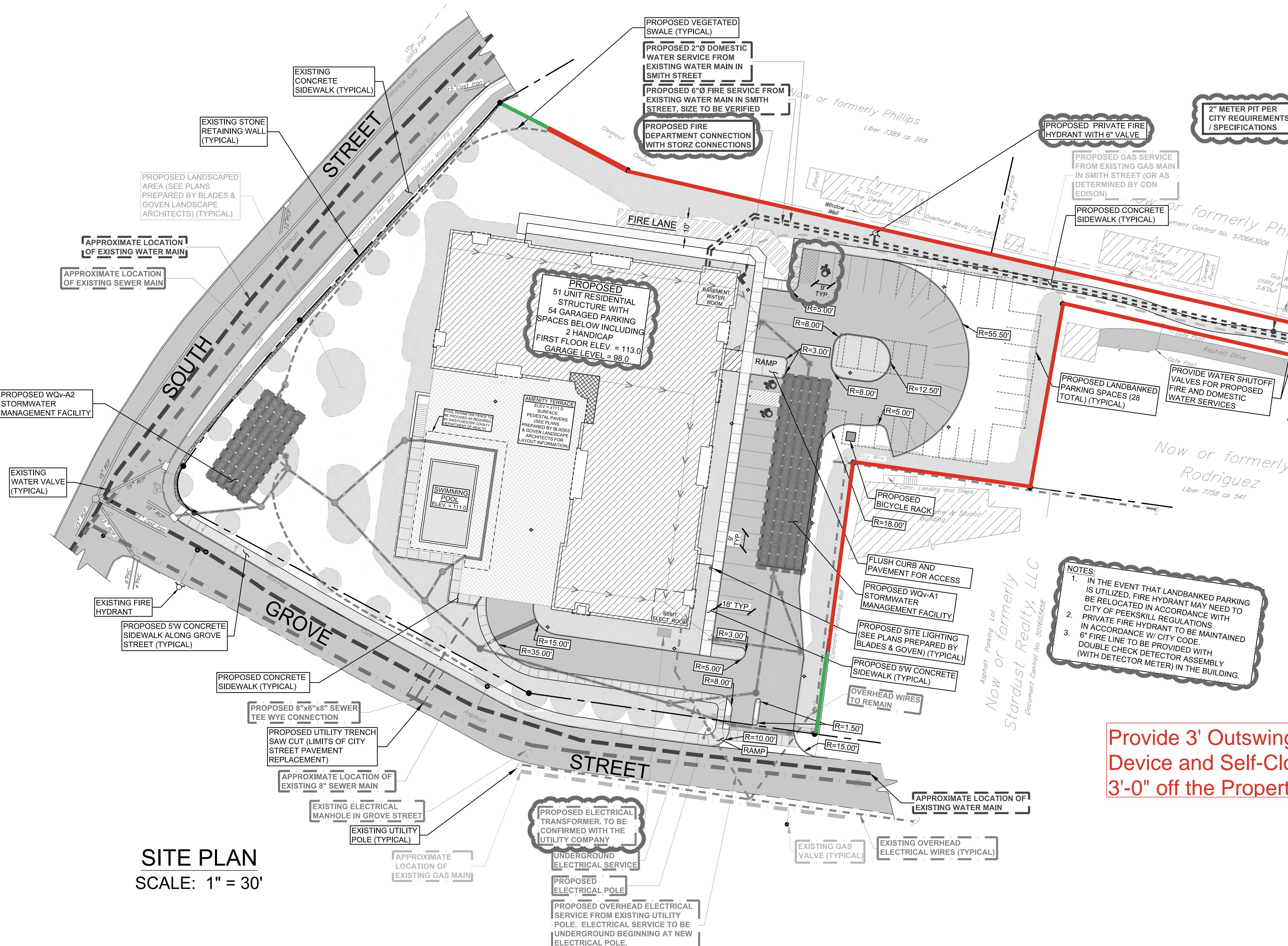
# EASTPOINT ON HUDSON

Finkelstein Timberger East Real Estate Owner  
505 South Street  
Peekskill, New York 10566  
S-1-132-12-5-1  
City of Peekskill - Westchester County

Date: September 15, 2025  
Revisions:

A2.01





Provide 3' Outswing Gate with Exit Device and Self-Closing Hardware set 3'-0" off the Property Line

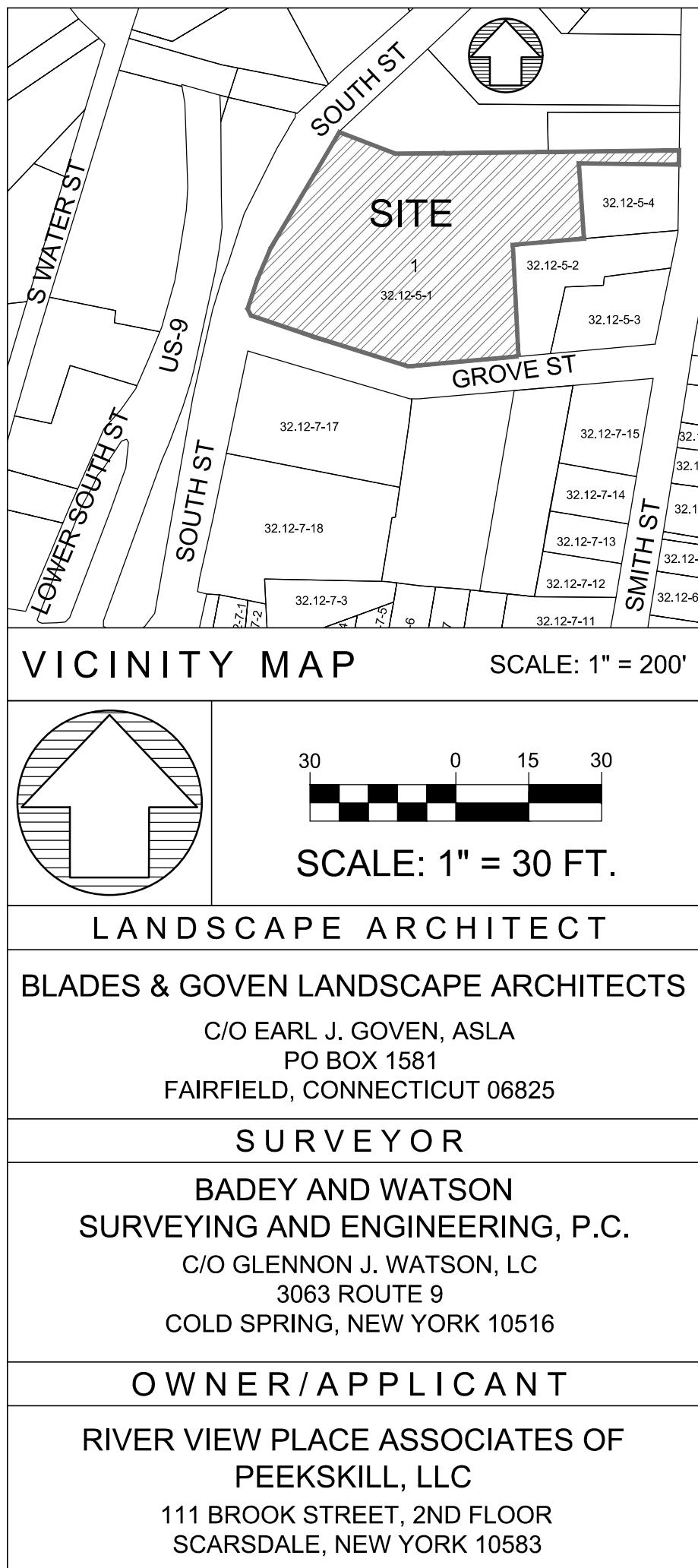
Asphalt parking lot  
Now or former/

# SITE PLAN

## LEGEND

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# **30' on South Street - 50' on Grove Street**



- UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
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## REVISIONS

REVISIONS		
4	WATER / SEWER SUPERINTENDENT COMMENTS	APRIL 20, 2022
3	COP RESOLUTION AND TECTONIC ENGINEERING COMMENTS	MARCH 17, 2022
2	COP RESOLUTION AND TECTONIC ENGINEERING COMMENTS	OCTOBER 19, 2020
1	CITY OF PEEKSKILL AND TECTONIC ENGINEERING COMMENTS	JUNE 19, 2020
#	REASON	DATE
PEEKSKILL TAX IDENTIFICATION		
SECTION: 32.12		
BLOCK: 05		
LOT: 01		
DESIGN BY: KCS/TC3		
DRAWN BY: KAA		
CHECKED: KCS/TC3		
PROJECT: 505 SOUTH STREET		
DATE: JANUARY 20, 2020		
JOB #: 160101		



TIMOTHY L. CRONIN III, P.E.  
LICENSE #062980

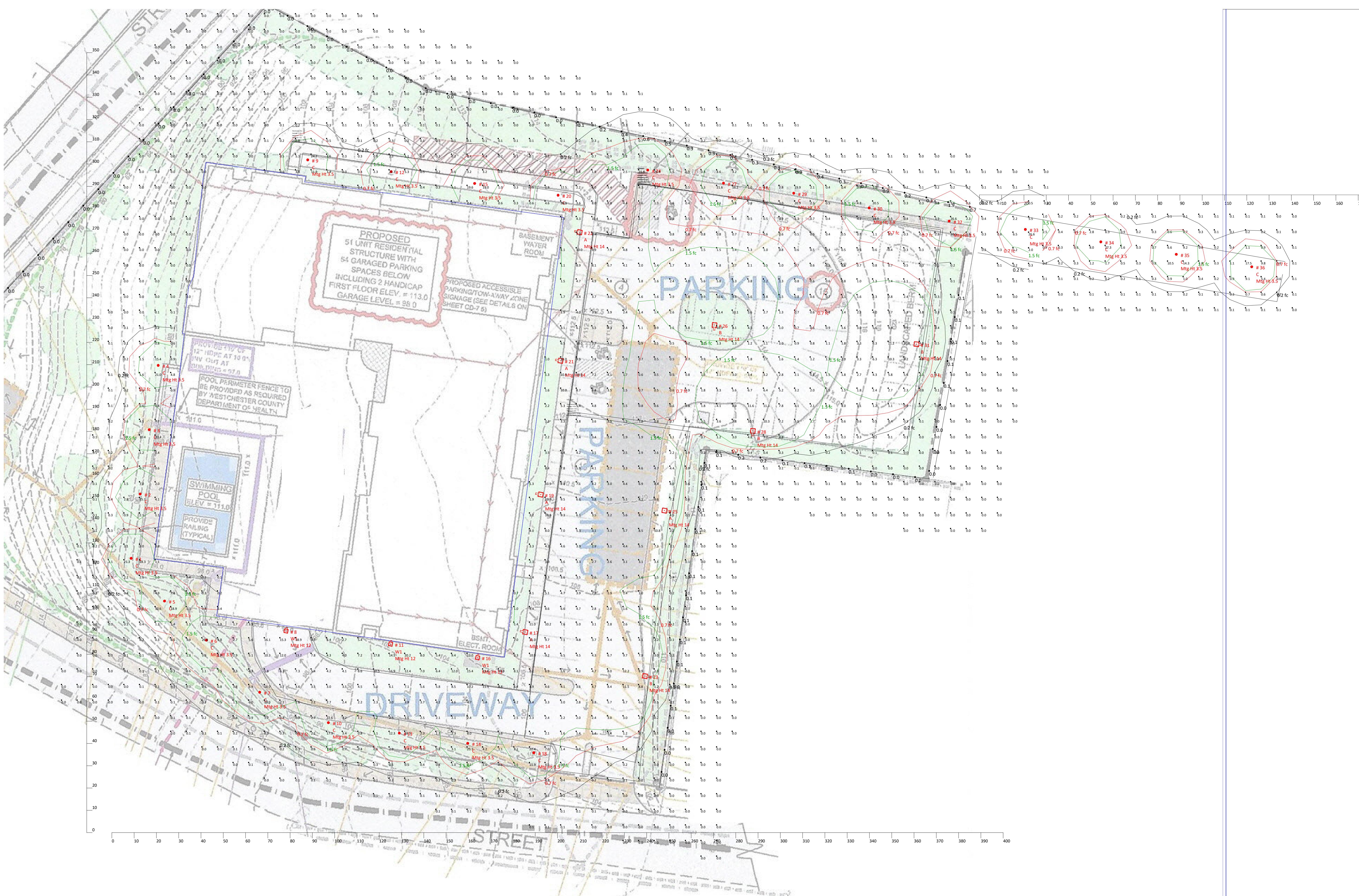


***39 Arlo Lane***  
**ContinentaL Manay, New York 10567**

CIVIL SITE PLAN

# **SITE DEVELOPMENT PLAN FOR**

**FOR  
RIVER VIEW PLACE  
505 SOUTH STREET**



Luminaire Schedule					Lighting Schedule			
Tag	Symbol	Qty	Label	Description	Lum. Lumens	LLF	Lum. Watts	Total Watts
A		5	ALEDM3TY + ALEDMHS	Direct drill, with shields, 3000K, set to 90W	17964	0.600	145.9	729.5
B		4	ALEDM4T + ALEDMHS	Direct drill, with shields, 3000K, set to 90W	17956	0.600	150.3	601.2
C		24	B17D 19W 3000K	Ground mounted	2811	1.000	17.9321	430.37
W1		3	ALEDS3TWMY	Wall mounted, Type III optic, 3000K, set to 150W	10458	1.000	81.2	243.6

Fixture Color Legend	
	Standard
	Emergency
	LightCloud Controls
	LightCloud Emergency
	Non-LightCloud Controls

Luminaire Tag Summary	
Tag	Qty
A	5
B	4
C	24
W1	3

Isoline Legend	
Illuminance (Fc)	
Color	Value
	0.2
	0.7
	1.5

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	2.05	28.5	0.0	N.A.	N.A.
Dog Run	Illuminance	Fc	1.37	27.3	0.0	N.A.	N.A.
Est Property Line	Illuminance	Fc	0.29	1.9	0.0	N.A.	N.A.
Est Property Line_1	Illuminance	Fc	0.08	0.2	0.0	N.A.	N.A.
Est Property Line_2	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Park North	Illuminance	Fc	2.63	11.6	0.0	N.A.	N.A.
Park South	Illuminance	Fc	4.32	12.2	0.4	10.80	30.50
Path North	Illuminance	Fc	4.15	24.7	0.2	20.75	123.50
Pavement	Illuminance	Fc	3.41	18.9	0.0	N.A.	N.A.

#	Date	Comments
3	08/28/2025	

Drawn By: Patrick Carbone
Checked By:
Date: 8/28/2025
Scale: As Noted

East Point River View
505 South

Luminaire Location Summary			
Lum No	Label	MH	Tilt
1	B17D 19W 4000K	3.5	0
2	B17D 19W 4000K	3.5	0
3	B17D 19W 4000K	3.5	0
4	B17D 19W 4000K	3.5	0
5	B17D 19W 4000K	3.5	0
6	B17D 19W 4000K	3.5	0
7	B17D 19W 4000K	3.5	0
8	ALEDS3TWMY	12	0
9	B17D 19W 4000K	3.5	0
10	B17D 19W 4000K	3.5	0
11	ALEDS3TWMY	12	0
12	B17D 19W 4000K	3.5	0
13	B17D 19W 4000K	3.5	0
14	B17D 19W 4000K	3.5	0
15	B17D 19W 4000K	3.5	0
16	ALEDS3TWMY	12	0
17	ALEDM3TY + ALEDMHS	14	0
18	B17D 19W 4000K	3.5	0
19	ALEDM3TY + ALEDMHS	14	0
20	B17D 19W 4000K	3.5	0
21	ALEDM3TY + ALEDMHS	14	0
22	ALEDM3TY + ALEDMHS	14	0
23	ALEDM4T + ALEDMHS	14	0
24	B17D 19W 4000K	3.5	0
25	ALEDM3TY + ALEDMHS	14	0
26	ALEDM4T + ALEDMHS	14	0
27	B17D 19W 4000K	3.5	0
28	ALEDM4T + ALEDMHS	14	0
29	B17D 19W 4000K	3.5	0
30	B17D 19W 4000K	3.5	0
31	ALEDM4T + ALEDMHS	14	0
32	B17D 19W 4000K	3.5	0
33	B17D 19W 4000K	3.5	0
34	B17D 19W 4000K	3.5	0
35	B17D 19W 4000K	3.5	0
36	B17D 19W 4000K	3.5	0

**DAMIN SALES**  
Electrical Manufacturers Representatives

Drawn By: Patrick Carbone

Checked By:

Date: 8/28/2025

Revisions

Comments

# 3 08/28/2025

Scale: As Noted

East Point River View

505 South

## LEGEND

- CATCH BASIN
- DRAIN INLET
- UTILITY POLE
- SIGN POST
- HYDRANT
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- TRAFFIC POLE
- TELE. MANHOLE
- ELECTRIC BOX
- SEWER MANHOLE
- WATER MANHOLE
- ELECTRIC MANHOLE
- DRAIN MANHOLE
- MANHOLE
- MONITORING WELL
- VALVE
- 14TREE
- SIZE
- +242.5 EXIST ELEV.
- +(242.5) PROPD ELEV.
- 14TREE
- (TO BE REMOVED)

JOB NUMBER: PK32.12-5-1

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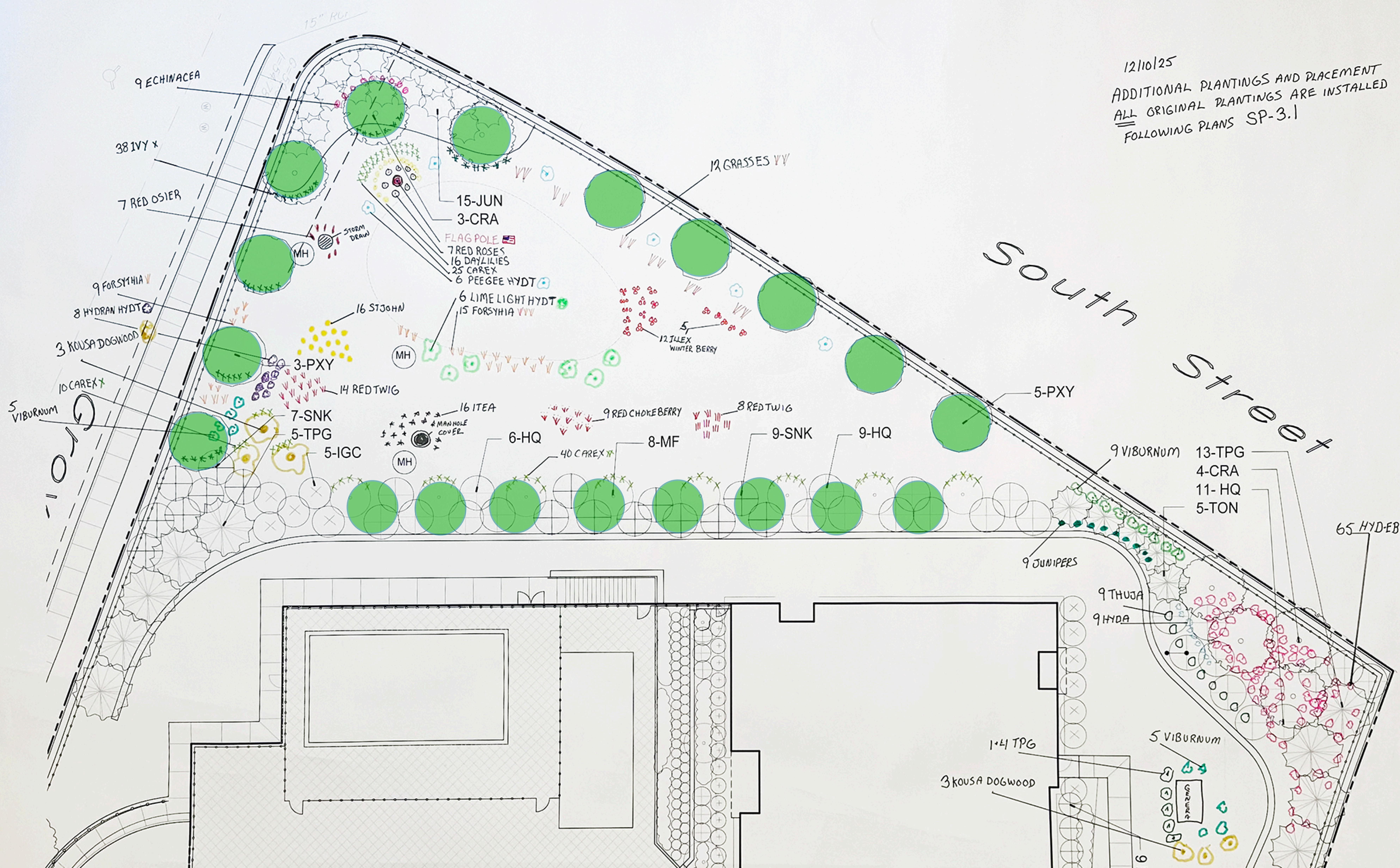
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### PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
CRA	7	CRATAEGUS PHYNOPYRUM	WASHINGTON HAWTHORN	7-8 FT HT	B&B
MF	8	MALUS FLORIBUNDA 'CARDINALIS'	CARDINAL CRAB APPLE	7-8 FT HT	B&B
PXY	8	PRUNUS YODENSIS	YOSHINO CERRY	7-8 FT HT	B&B
TPG	18	THUJA PUCATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	7-8 FT HT	B&B
TON	5	THUJA OCCIDENTALIS NIGRA	DARK AMERICAN ARBORVITAE	6-7 FT HT	B&B
HQ	15	HYDRANGEA QUERICIFOLIA	OAKLEAF HYDRANGEA	24-30"	CAN
IGC	5	ILEX GLABRA SHAMROCK	SHAMROCK INKBERRY	24-30" HT	CAN
JUN	8	JUNIPERUS HORIZONTALIS 'WILTONII'	CREEPING JUNIPER	18-24" SPR	CAN
SNK	16	SALIX INTEGRA 'HAKURO-NISHIKI'	DAPPLED WILLOW	18-24" HT	CAN

### GENERAL NOTES

1. SURVEY DATA TAKEN FROM PLAN ENTITLED DRAINAGE LOCATION ASSESSORS MAP 71, BLOCK 109, LOTS 06, 08-1, 09-2, 09-3 & 7, 15, 17, 19, 21 HAWLEYVILLE ROAD & 36 STONY HILL ROAD, BETHEL, CT PREPARED FOR HUNTER GREGORY REALTY CORP BY THE HUNTINGTON COMPANY 140 SHERMAN STREET, FAIRFIELD, CT
2. VERIFY LOCATION AND LAYOUT OF ALL RETAINING WALLS AND UNDERGROUND UTILITIES
3. IRRIGATION TO BE PROVIDED
4. ALL PLANT MATERIAL STOCK TO MEET AMERICAN STANDARD FOR NURSERY STOCK

SP-3.1